

DESIGN CRITERIA

SNOW LOAD ---- 25 LBS
 WIND SPEED -- 110 MPH IBC
 EXPOSURE ----- B
 SEISMIC ----- D

HEATING SYSTEM
 GAS FURNACE &
 ELECTRIC HEAT PUMP

APPLIANCE FUEL SOURCE
 STOVE GAS
 DRYER ELECTRIC
 WATER HEATER ELECTRIC

SQUARE FOOTAGE TOTALS

1ST FLOOR 2,200 SQ FT
 2ND FLOOR 2,264 SQ FT
 TOTAL LIVING SPACE 4,464 SQ FT

GARAGE 535 SQ FT
 FRONT PORCH COVER 49 SQ FT
 REAR DECK 936 SQ FT
 UPPER BALCONY 645 SQ FT

HOUSE DESIGNER:
 ALDOR LLC.
 26809 199TH AVE SE,
 COVINGTON WA, 98042
 ALDOR.architecture.construction@outlook.com

LIST OF CODES
 2021 WSEC
 2021 IRC & IBC

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RUSSELL PALANCHUCK - PRIVATE RESIDENCE - ARCHITECTURAL SET
 9734 SE 40TH ST MERCER ISLAND WA. 98040 PARCEL# 265550-0176



LIST OF CODES:
 2021 WSEC
 2021 IBC

2021 WASHINGTON STATE ENERGY CREDITS

HEATING OPTION	FUEL NORMALIZATION DESCRIPTION	CREDIT(S)	OPTION	DESCRIPTION	CREDIT(S)																																	
2	FOR AN INITIAL HEATING SYSTEM, USING A HEAT PUMP THAT MEETS FEDERAL STANDARDS FOR THE EQUIPMENT LISTED IN TABLE C403.3.3(2) AND SUPPLEMENTAL HEATING PROVIDED BY ELECTRIC RESISTANCE	1.5	5.7	EFFICIENCY WATER HEATING OPTION: WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING: ELECTRIC HEAT PUMP WATER HEATER WITH A MINIMUM UEF OF 2.9 AND UTILIZING A SPLIT SYSTEM CONFIGURATION WITH THE AIR-TO-REFRIGERANT HEAT EXCHANGER LOCATED OUTDOORS. EQUIPMENT SHALL MEET SECTION 4, REQUIREMENTS FOR ALL UNITS OF THE NEEA STANDARDS ADVANCED WATER HEATING SPECIFICATION WITH THE UEF NOTED ABOVE.	2.5																																	
OPTION	DESCRIPTION	CREDIT(S)																																				
1.2	EFFICIENT BUILDING ENVELOPE: PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.3 WITH THE FOLLOWING MODIFICATIONS: VERTICAL FENESTRATION U=0.25 FLOOR R-38 SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB.	1.0	7.1	APPLIANCE PACKAGE OPTION ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS: 1. DISHWASHER, STANDARD - ENERGY STAR RATED, MOST EFFICIENT 2021 OR DISHWASHER, COMPACT- ENERGY STAR RATED (VERSION 6.0) 2. REFRIGERATOR (IF PROVIDED)- ENERGY STAR RATED (VERSION 5.1) 3. WASHING MACHINE (RESIDENTIAL)- ENERGY STAR RATED (VERSION 8.1) 4. DRYER - ENERGY STAR RATED, MOST EFFICIENT 2022	0.5																																	
2.2	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION COMPLIANCE BASED ON SECTION R402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 1.5 AIR CHANGES PER HOUR MAXIMUM @ 50 PASCAL'S, OR FOR R-2 OCCUPANCIES, OPTIONAL COMPLIANCE BASED ON SECTION R402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 0.20 CFM/FT2 MAXIMUM @ 50 PASCAL'S.	1.5																																				
MEDIUM DWELLING UNIT -----					8.0																																	
CREDITS DWELLING UNITS UP TO 5,000 SQ. FT. OF CONDITIONED FLOOR AREA																																						
<table border="0"> <tr><td>A. Lot Area</td><td></td><td></td><td></td><td>Square Feet</td></tr> <tr><td>B. Zone R-8.4</td><td><input checked="" type="checkbox"/></td><td>R-9.6</td><td><input type="checkbox"/></td><td>R-12</td><td><input type="checkbox"/></td><td>R-15</td><td><input type="checkbox"/></td></tr> <tr><td>C. Allowed Gross Floor Area (refer to "allowed GFA")</td><td></td><td>5,000</td><td></td><td>Square Feet</td></tr> <tr><td>D. Allowed Gross Floor Area</td><td></td><td>40</td><td></td><td>% of Lot</td></tr> <tr><td>E. Proposed Gross Floor Area</td><td></td><td>4,999</td><td></td><td>Square Feet</td></tr> <tr><td>F. Proposed Gross Floor Area</td><td></td><td>38.5%</td><td></td><td>% of Lot</td></tr> </table>						A. Lot Area				Square Feet	B. Zone R-8.4	<input checked="" type="checkbox"/>	R-9.6	<input type="checkbox"/>	R-12	<input type="checkbox"/>	R-15	<input type="checkbox"/>	C. Allowed Gross Floor Area (refer to "allowed GFA")		5,000		Square Feet	D. Allowed Gross Floor Area		40		% of Lot	E. Proposed Gross Floor Area		4,999		Square Feet	F. Proposed Gross Floor Area		38.5%		% of Lot
A. Lot Area				Square Feet																																		
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F. Proposed Gross Floor Area		38.5%		% of Lot																																		
LOT SLOPE CALCULATIONS																																						
Highest Elevation Point of Lot: 170 Feet																																						
Lowest Elevation Point of Lot: 152 Feet																																						
Elevation Difference: 18 Feet																																						
Horizontal Distance Between High and Low Points: 148 Feet																																						
Lot Slope*: 12.1 %																																						
LOT COVERAGE CALCULATIONS																																						
A. Gross Lot Area 12,992 Square Feet																																						
B. Net Lot Area 7,518 Square Feet																																						
C. Allowed Lot Coverage Area 5,000 sq. ft. Square Feet																																						
D. Allowed Lot Coverage 40% % of Lot																																						
a,c,d 3.3	HIGH EFFICIENCY HVAC EQUIPMENT OPTION: AIR-SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MIN. (HSPF 9.5) HSPF 8.5 IN AREAS WHERE THE WINTER DESIGN TEMPERATURE AS SPECIFIED IN APPENDIX RC IS 23°F OR BELOW, A COLD CLIMATE HEAT PUMP FOUND ON THE NEEP CC ASHP QUALIFIED PRODUCT LIST SHALL BE USED.	0.5																																				
3.11 ^a	CONNECTED THERMOSTAT MEETING ENERGY STAR CERTIFIED SMART THERMOSTATS/EPA ENERGY STAR SPECIFICATION. TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE THERMOSTAT MODEL.	0.5																																				

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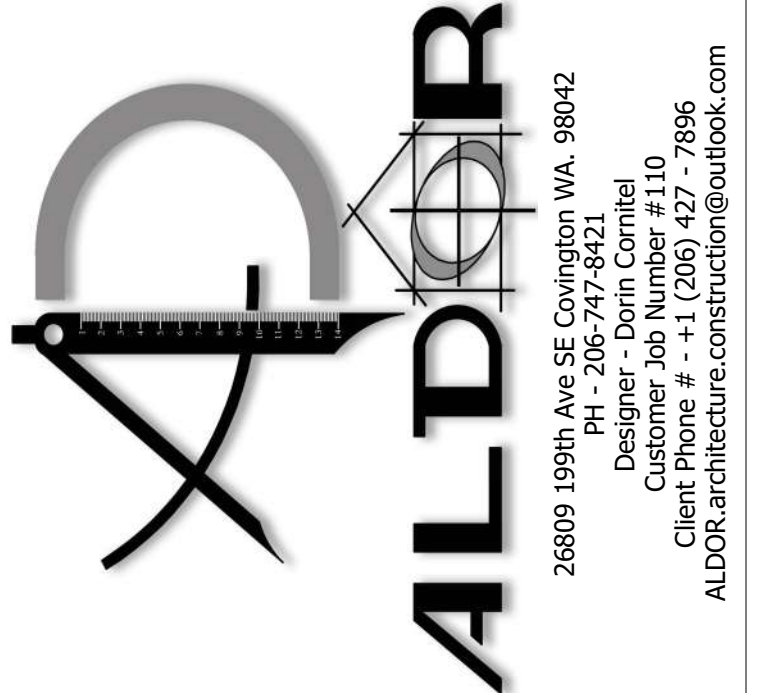
THESE PLANS WERE EXCLUSIVELY DESIGNED FOR
RUSSELL PALANCHUCK
 9734 SE 40TH ST
 MERCER ISLAND, WA
 98040
 PARCEL # - 265550-0176

HOME OWNER / GENERAL CONTRACTORS SHALL VERIFY ALL BUILDING CODES, DIMENSIONS, AND GRADING REQUIREMENTS, AND DIMENSIONS ACCORDING TO SITE CONDITIONS. ALL SUBCONTRACTORS SHALL COORDINATE CLOSELY WITH THE ARCHITECT AND GENERAL CONTRACTOR TO AVOID CONFLICTS. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ERRORS CAUSED DUE TO INADEQUATE INFORMATION PROVIDED BY THE HOME OWNER AND GENERAL CONTRACTOR. THESE PLANS ARE INTENDED TO PROVIDE ADEQUATE INFORMATION TO THE HOME OWNER AND GENERAL CONTRACTOR TO OBTAIN PERMITS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH LOCAL AND INTERNATIONAL BUILDING CODES. ITEMS WHICH ARE NOT SPECIFIED IN THESE PLANS OR CONSTRUCTION MAY NOT APPEAR WITHIN THESE PLANS.

Sheet Description
PROJECT INFO
 Plan Name
 9734 SE 40TH ST
 MERCER ISLAND WA.
 98040

1 OF 14

THIS SET OF PLANS IS LICENSED FOR ONE TIME USE



NOTES

SMOKE ALARMS AND HEAT DETECTION REQUIRED LOCATIONS R314.3: SMOKE ALARMS SHALL BE INSTALLED IN

1. IN EACH SLEEPING ROOM OR SLEEPING LOFT
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET FROM THE DOOR OR OPENING OF A BATHROOM.
5. IN NAPPING AREAS IN A FAMILY HOME CHILD CARE.

HEAT DETECTOR OR HEAT ALARM SHALL BE PROVIDED IN NEW ATTACHED GARAGES (R314.2.3) ALTERATIONS, REPAIRS AND ADDITIONS R314.2.2 WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHERE ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, OR WHERE AN ACCESSORY DWELLING UNIT IS CREATED WITHIN AN EXISTING DWELLING UNIT, EACH DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS AS REQUIRED FOR NEW DWELLINGS.

HEAT DETECTION INTERCONNECTION R314.4.1 HEAT DETECTORS AND HEAT ALARMS SHALL BE CONNECTED TO AN ALARM OR A SMOKE ALARM THAT IS INSTALLED IN THE DWELLING. ALARMS THAT ARE INSTALLED FOR THIS PURPOSE SHALL BE LOCATED IN A HALLWAY, ROOM, OR OTHER LOCATION THAT WILL PROVIDE OCCUPANT NOTIFICATION.

COMBINATION ALARMS R314.5 COMBINATION SMOKE AND CARBON MONOXIDE ALARMS MAY BE USED IN PLACE OF SMOKE ALARMS.

POWER SOURCE R314.6 SMOKE ALARMS, HEAT ALARMS, AND HEAT DETECTORS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING AND, WHEN POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.

INTERCONNECTIVITY R314.4 WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.

WHERE AN ACCESSORY DWELLING UNIT IS CREATED WITHIN AN EXISTING DWELLING UNIT ALL REQUIRED SMOKE ALARMS, IN THE ACCESSORY DWELLING UNIT AND THE PRIMARY DWELLING UNIT, SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN BOTH THE PRIMARY DWELLING UNIT AND THE ACCESSORY DWELLING UNIT.

NOTES

CARBON MONOXIDE ALARMS REQUIRED LOCATIONS PER IRC R315.3: APPROVED CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH LEVEL OF THE DWELLING IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE A BEDROOM OR ITS ATTACHED BATHROOM CONTAINS A FUEL-BURNING APPLIANCE, A CARBON MONOXIDE ALARM MUST BE INSTALLED IN THE BEDROOM.

EXISTING DWELLINGS PER IRC R315.2.2 SHALL BE EQUIPPED WITH CARBON MONOXIDE ALARMS IN ACCORDANCE WITH THE INFORMATION ABOVE (SOME EXCEPTIONS MAY APPLY). AN INSPECTION WILL OCCUR WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED. BATTERY POWERED ALARMS ARE PERMITTED IN EXISTING DWELLINGS.

COMBINATION ALARMS PER IRC R315.4 COMBINATION SMOKE AND CARBON MONOXIDE ALARMS MAY BE USED IN PLACE OF CARBON MONOXIDE ALARMS.

POWER SOURCE PER IRC R315.6 CARBON MONOXIDE ALARMS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING AND, WHEN POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.

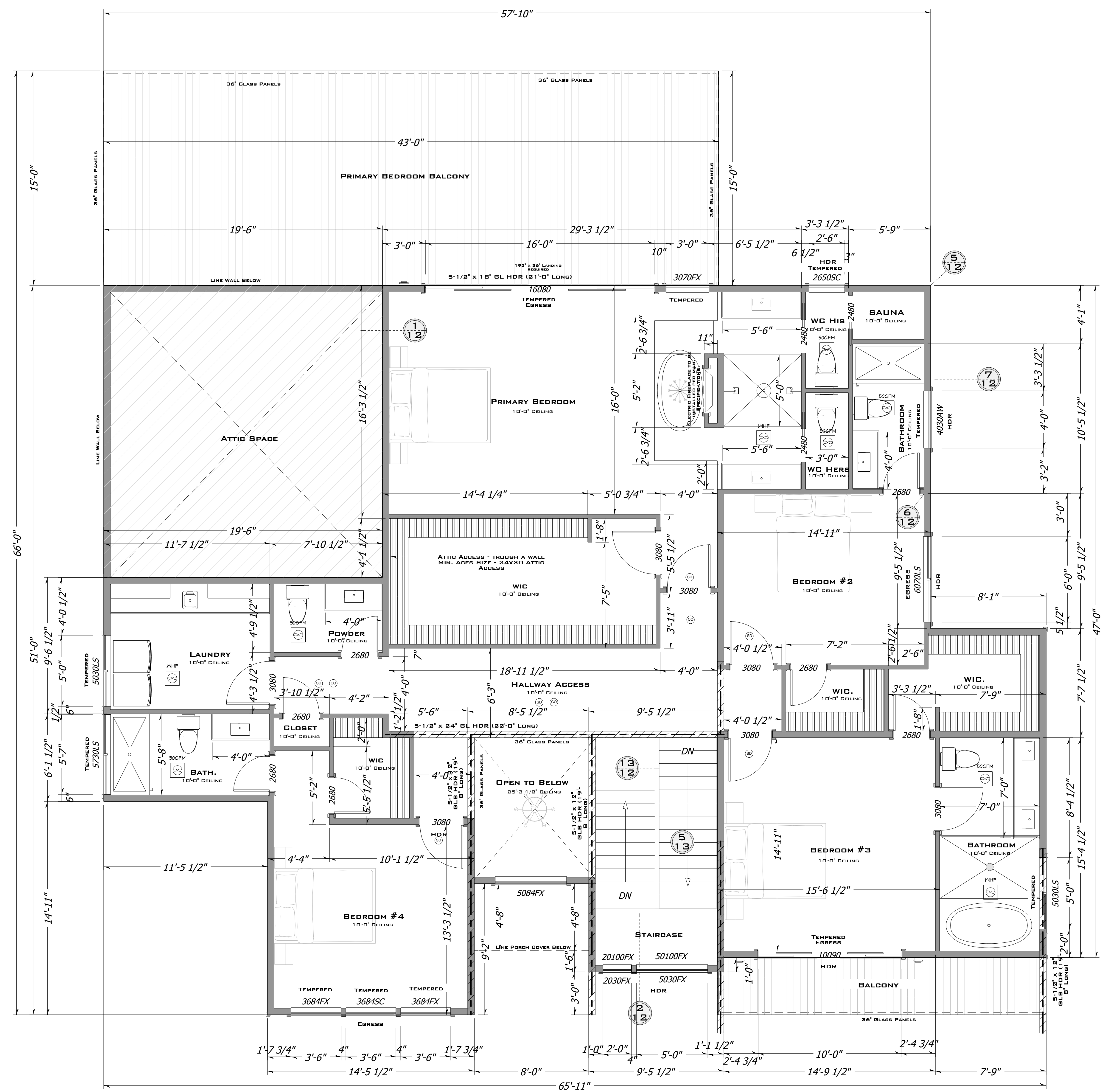
INTERCONNECTIVITY R315.5 WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF CARBON MONOXIDE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.

WINDOW MFG IS JELDWEN & U FACTOR IS IN AVERAGE OF .25 AND SKYLIGHTS ARE .50
EXTERIOR DOOR MFG IS OREPAC & U FACTOR IS .20

WINDOW SCHEDULE					
QTY	FLOOR	SIZE	EGRESS	TEMPERED	DESCRIPTION
1	1	120100 L/R IN	YES	YES	QUAD SLIDER-GLASS PANEL
1	1	160100 L/R IN	YES	YES	QUAD SLIDER-GLASS PANEL
1	1	2030FX		YES	FIXED GLASS
1	1	3056LS			LEFT SLIDING
2	2	5030LS		YES	LEFT SLIDING
1	1	5056LS			LEFT SLIDING
1	1	6070LS	YES		LEFT SLIDING
1	2	10090 L/R IN	YES	YES	QUAD SLIDER-GLASS PANEL
1	2	16080 L/R IN	YES	YES	QUAD SLIDER-GLASS PANEL
1	2	20100FX			FIXED GLASS
1	2	2030FX			FIXED GLASS
1	2	3070FX	YES		FIXED GLASS
2	2	3684FX	YES		FIXED GLASS
1	2	50100FX			FIXED GLASS
1	2	5030FX			FIXED GLASS
1	2	5084FX			FIXED GLASS
1	2	5730LS	YES		LEFT SLIDING
1	2	6070LS	YES		LEFT SLIDING
3	1	36810FX	YES		FIXED GLASS

DOOR SCHEDULE		
QTY	FLOOR	DESCRIPTION
1	1	18090 GARAGE-GLASS PANEL
2	1	2680 R IN HINGED-SLAB DOOR
1	1	2880 R IN HINGED-SLAB DOOR
1	1	3080 L EX EXT. HINGED-PANEL
1	1	3080 L IN HINGED-PANEL
1	1	3080 R IN HINGED-SLAB DOOR
1	1	4080 R IN HINGED-SLAB DOOR
1	1	50100 R EX EXT. HINGED-GLASS PANEL
3	2	2680 L IN HINGED-SLAB DOOR
4	2	2680 R IN HINGED-SLAB DOOR
4	2	3080 L IN HINGED-SLAB DOOR
3	2	3080 R IN HINGED-SLAB DOOR
3	1	3080 L IN HINGED-SLAB DOOR

1. PANASONIC WHISPER GREEN WHOLE HOUSE FAN
SEE SHEET #9 FOR FAN SIZING



UPPER FLOOR PLAN
SCALE 1/4" = 1'

ATTIC SPACE

THESE PLANS HAVE BEEN EXCLUSIVELY DESIGNED FOR THE PROJECT AND ARE TO BE CONSIDERED AS UNPUBLISHED WORK WHICH IS PROTECTED BY THIS PLAN SET. THIS PLAN SET MAY BE USED ONLY BY ALDOR LOCATED AT 1994 40TH ST MERCER ISLAND WA 98042. IT MAY NOT BE ALTERED, COPIED, OR DISTRIBUTED WITHOUT THE WRITTEN PERMISSION OF ALDOR. VIOLATION SHALL BE STRICTLY ENFORCED.

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9734 SE 40TH ST
MERCER ISLAND, WA
98040

PARCEL # - 265550-0176

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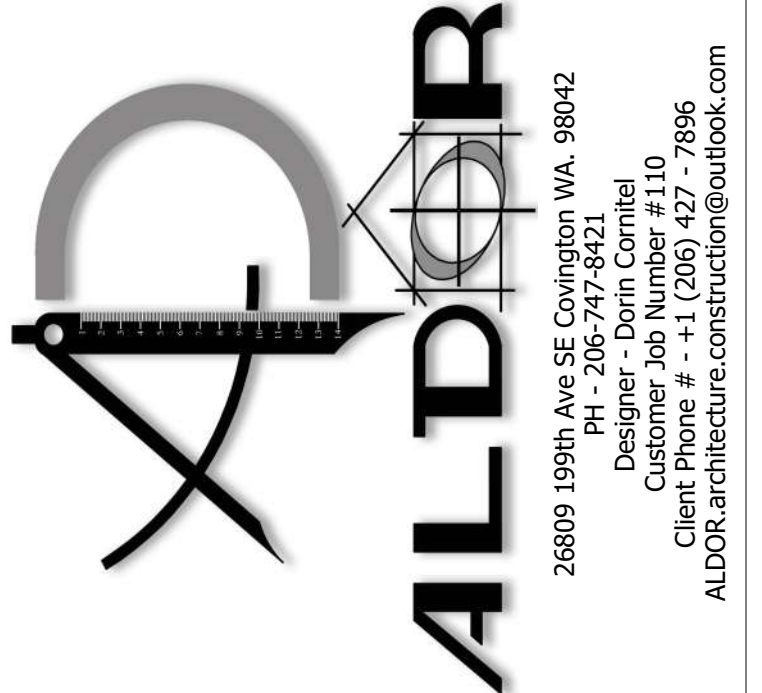
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Sheet Description

UPPER PLAN

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FOUNDATION VENT CALCULATIONS

UNDER FLOOR VENTILATION SHALL BE PROVIDED IN ACCORDANCE WITH IRC R408.1 & R408.2. A MINIMUM OF 1 SQUARE FOOT OF NET VENTILATION SHALL BE PROVIDED FOR EACH 300 SQUARE FEET OF UNDER FLOOR AREA. ONE VENT SHALL BE PROVIDED WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

VENTS SHALL BE 6"x16" SCREENED FOUNDATION VENTS = .67 SQ. FT.

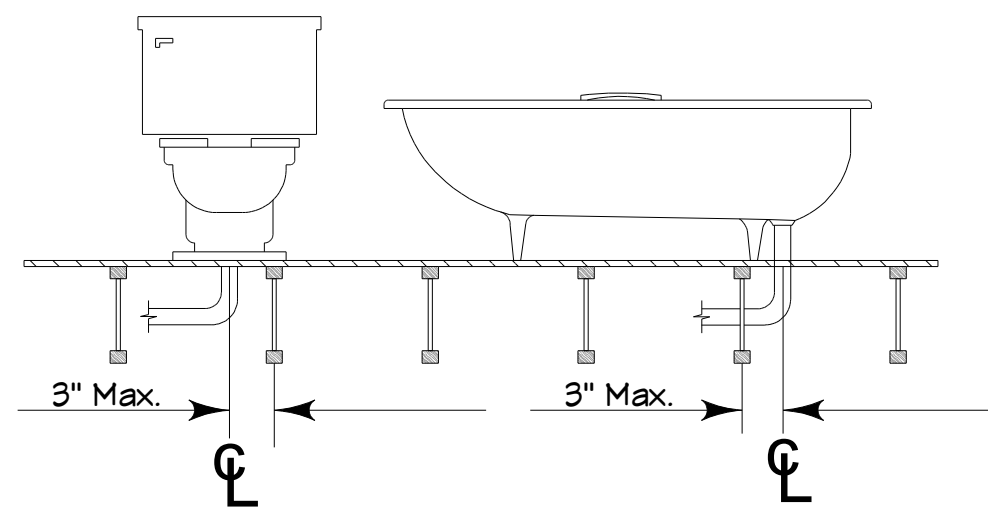
UNDER FLOOR AREA = 2,200 SQ. FT.

2,200 Sq. Ft./300 = 7.33 Sq. Ft. / .67sq. Ft. OF VENTILATION REQUIRED -OR- 11 VENTS

NOTE: TO PREVENT WATER WICKING MUD SILL PLATE - RIM JOIST & EXTERIOR WALL TO EXTEND OVER STEM WALL 1/2" FOLLOW DETAIL 7/11

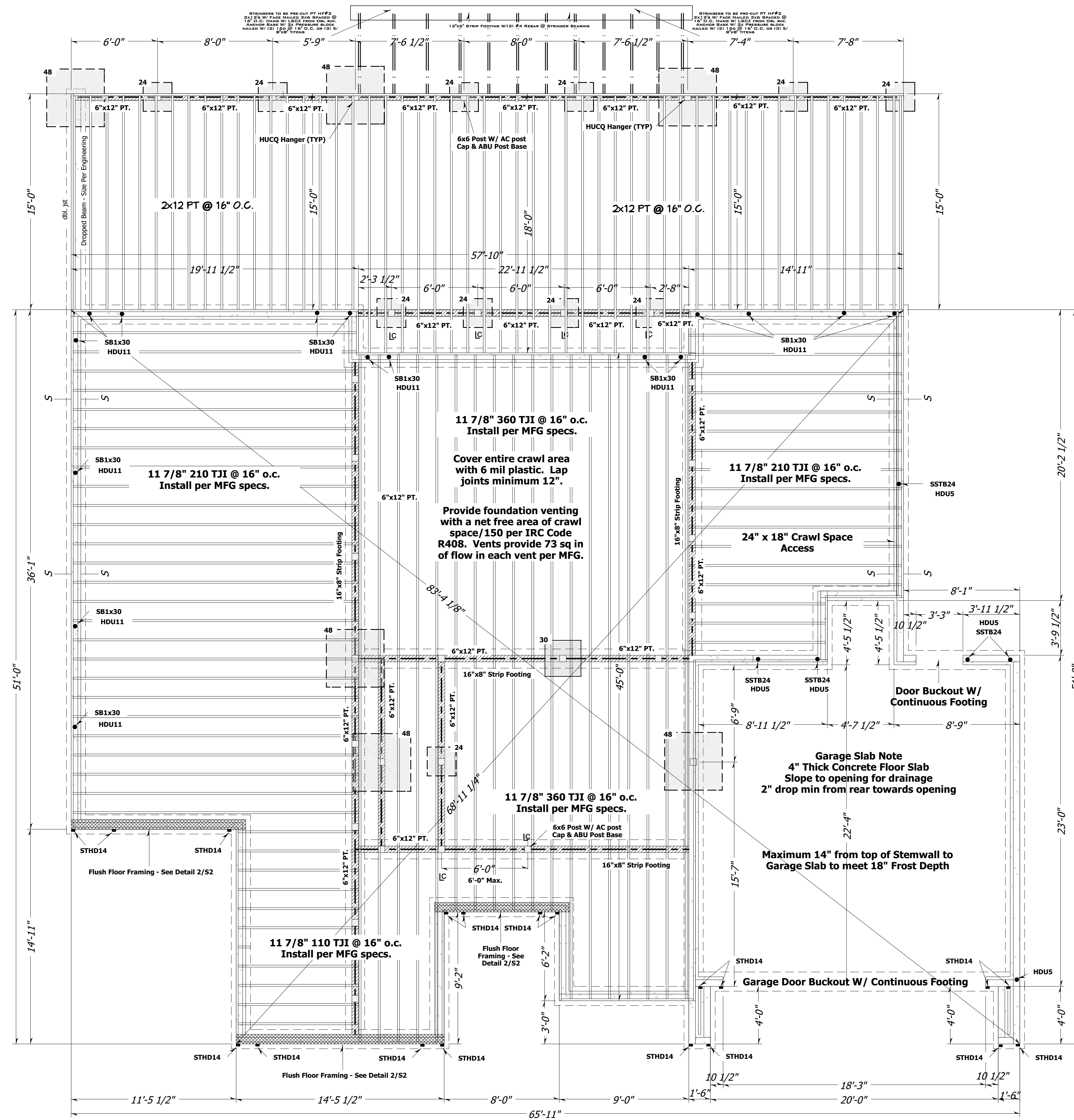
NOTE: ENSURE VENTS ARE NOT AT THE HOLDOWN OR POINT LOAD LOCATIONS (TYP)

CONTRACTOR TO VERIFY PLUMBING DROPS DO NOT INTERFERE WITH FLOOR FRAMING



LP I-JOISTS CAN BE OFFSET UP TO 3" TO AVOID VERTICAL PLUMBING

HOLD-DOWNS: STHD14; HDU11; HDU5



FOUNDATION PLAN
SCALE 1/4" = 1'

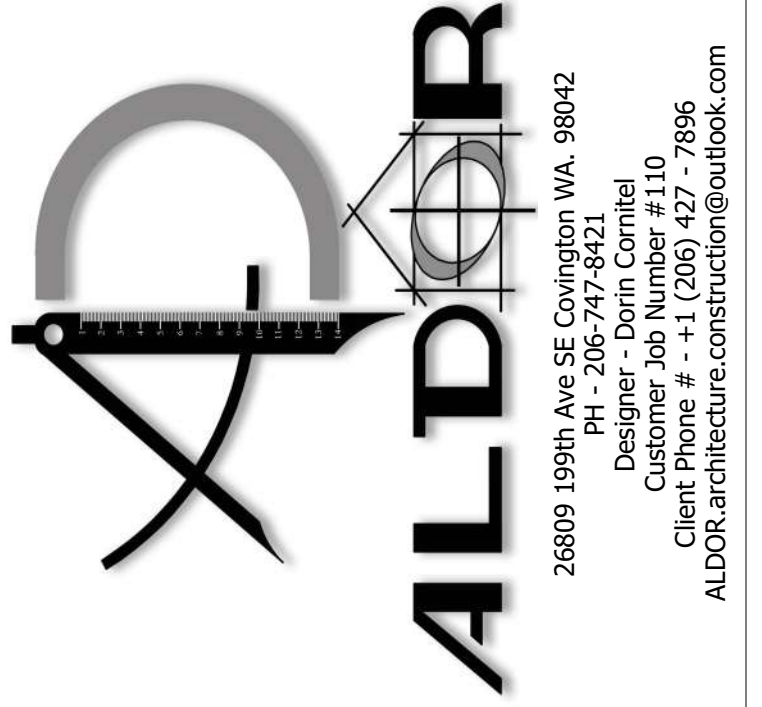
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FOUNDATION PLAN
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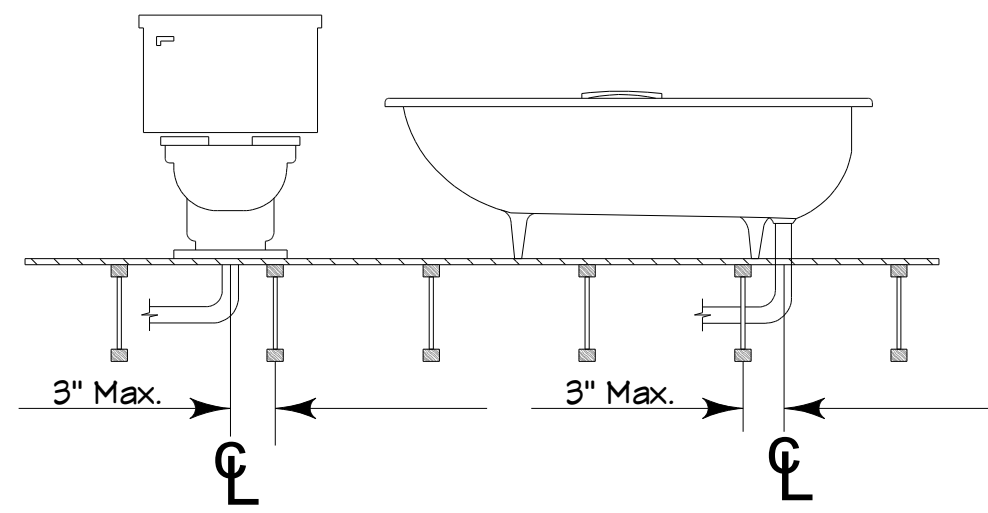
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NOTE: TO PREVENT WATER WICKING MUD SILL PLATE - RIM JOIST & EXTERIOR WALL TO EXTEND OVER STEM WALL 1/2" FOLLOW DETAIL 7/1 1

NOTE: ENSURE VENTS ARE NOT AT THE HOLDDOWN OR POINT LOAD LOCATIONS (TYP)

CONTRACTOR TO VERIFY PLUMBING DROPS DO NOT INTERFERE WITH FLOOR FRAMING



LP I-JOISTS CAN BE OFFSET UP TO 3" TO AVOID VERTICAL PLUMBING

HOLDDOWNS: HDU5'S



UPPER FLOOR FRAMING PLAN
SCALE 1/4" = 1'

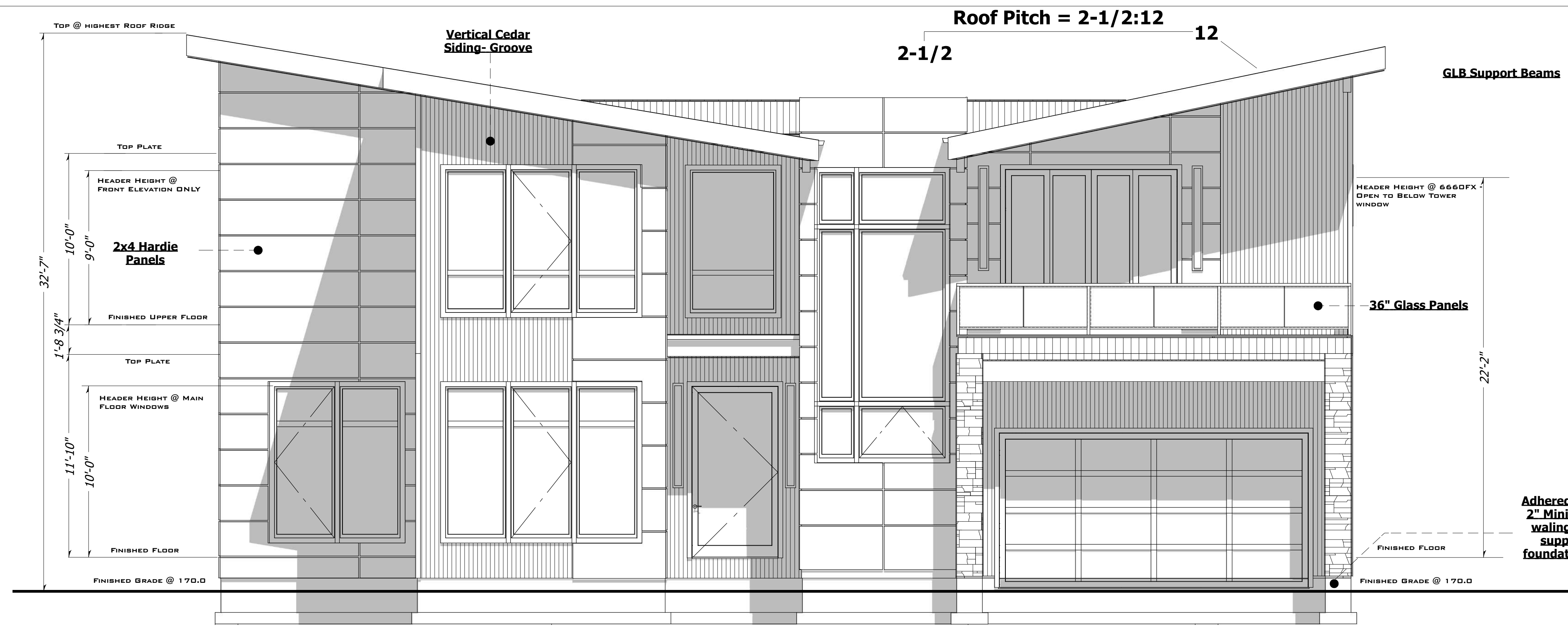
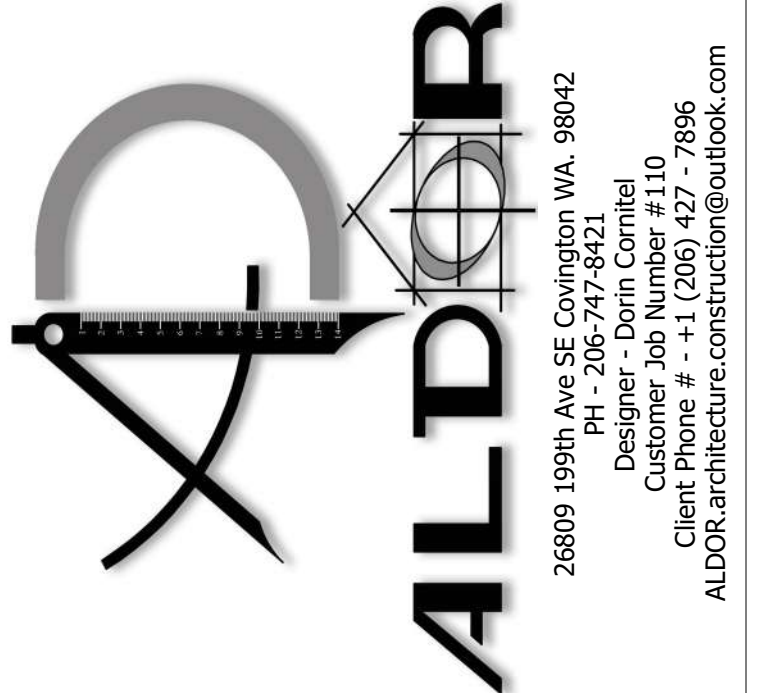
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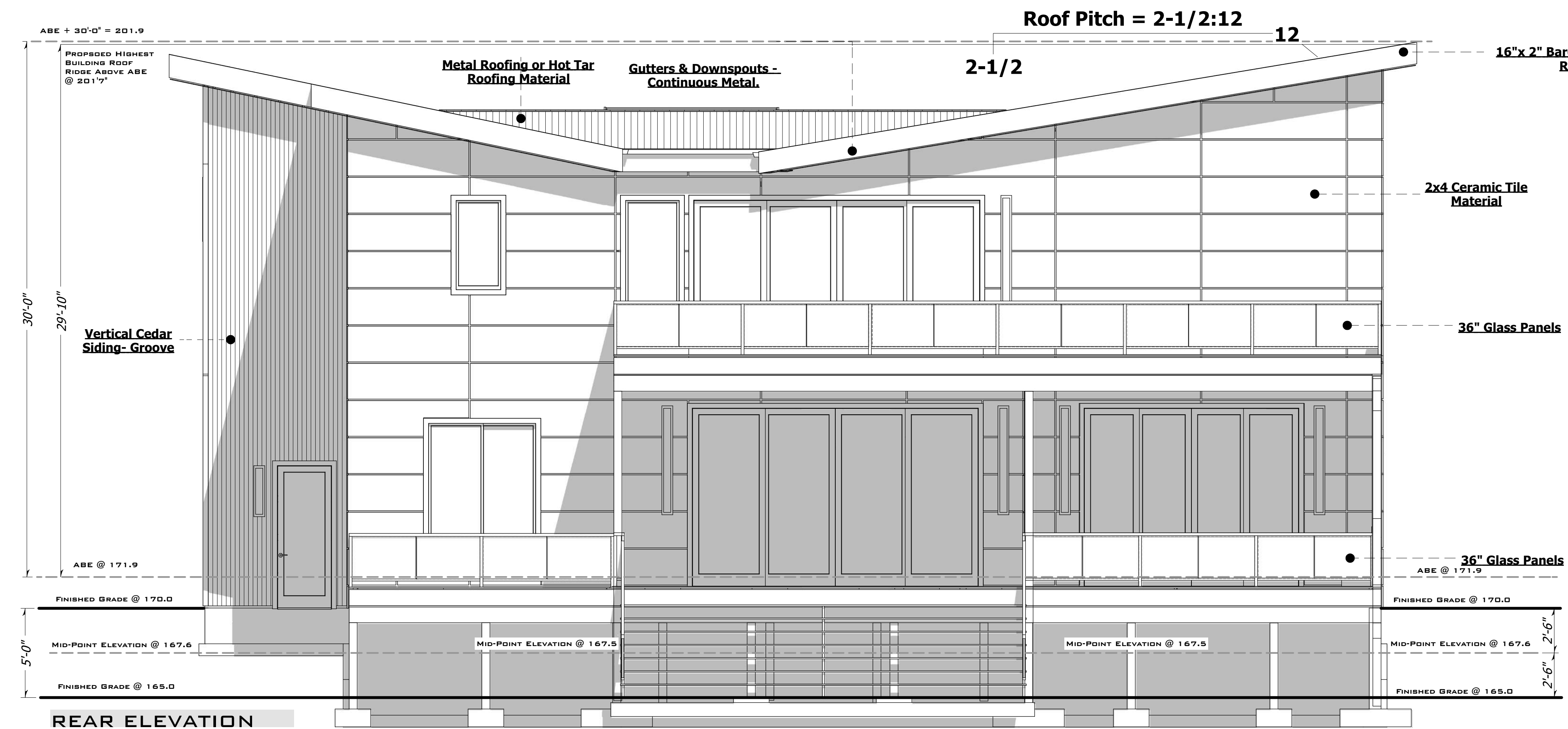
FRONT ELEVATION

Adhered masonry veneer - 1/2" Minimum Above exterior walling surfaces which are supported by the same foundation that supports the exterior wall.

NOTE: ADHERED MASONRY VENEER IS REQUIRED TO HAVE THE FOLLOWING CLEARANCES PER IRC R703.1.2.1: 4" MINIMUM ABOVE THE EARTH, 2" MINIMUM ABOVE PAVED AREAS, AND 1/2" MINIMUM ABOVE EXTERIOR WALKING SURFACES WHICH ARE SUPPORTED BY THE SAME FOUNDATION THAT SUPPORTS THE EXTERIOR WALL.

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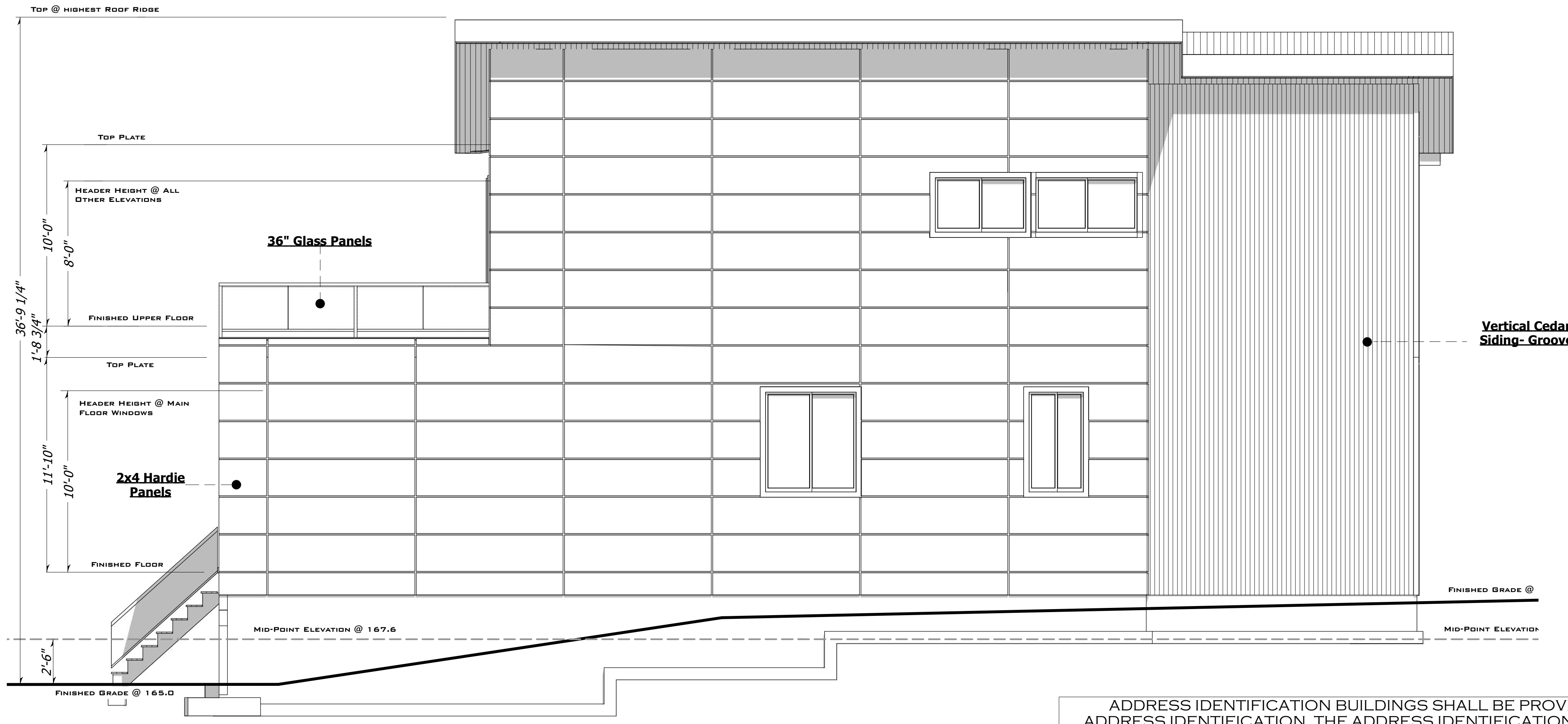
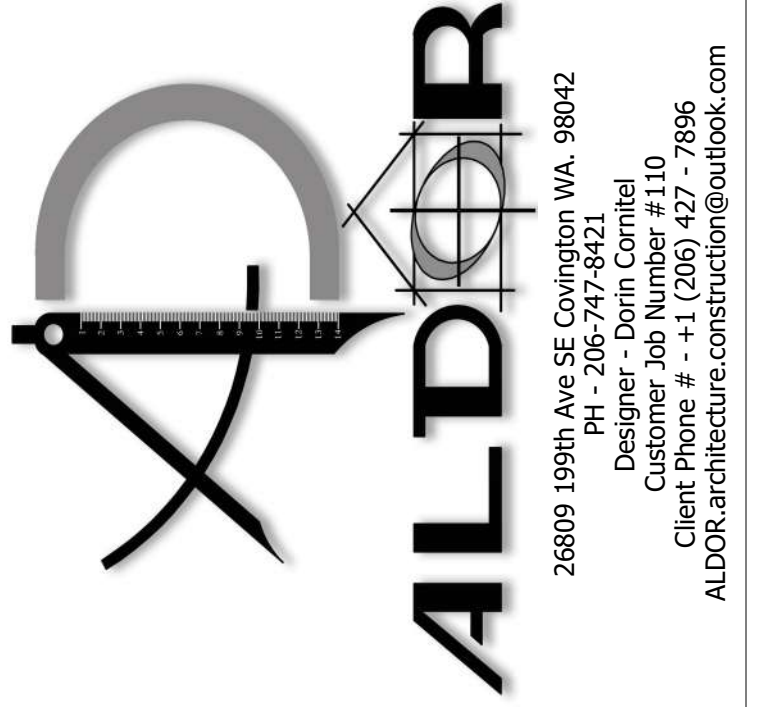
REAR ELEVATION

ELEVATIONS SCALE 1/4" = 1'

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Sheet Description
ELEVATIONS
Plan Name
9734 SE 40TH ST MERCER ISLAND WA. 98040
7 OF 14

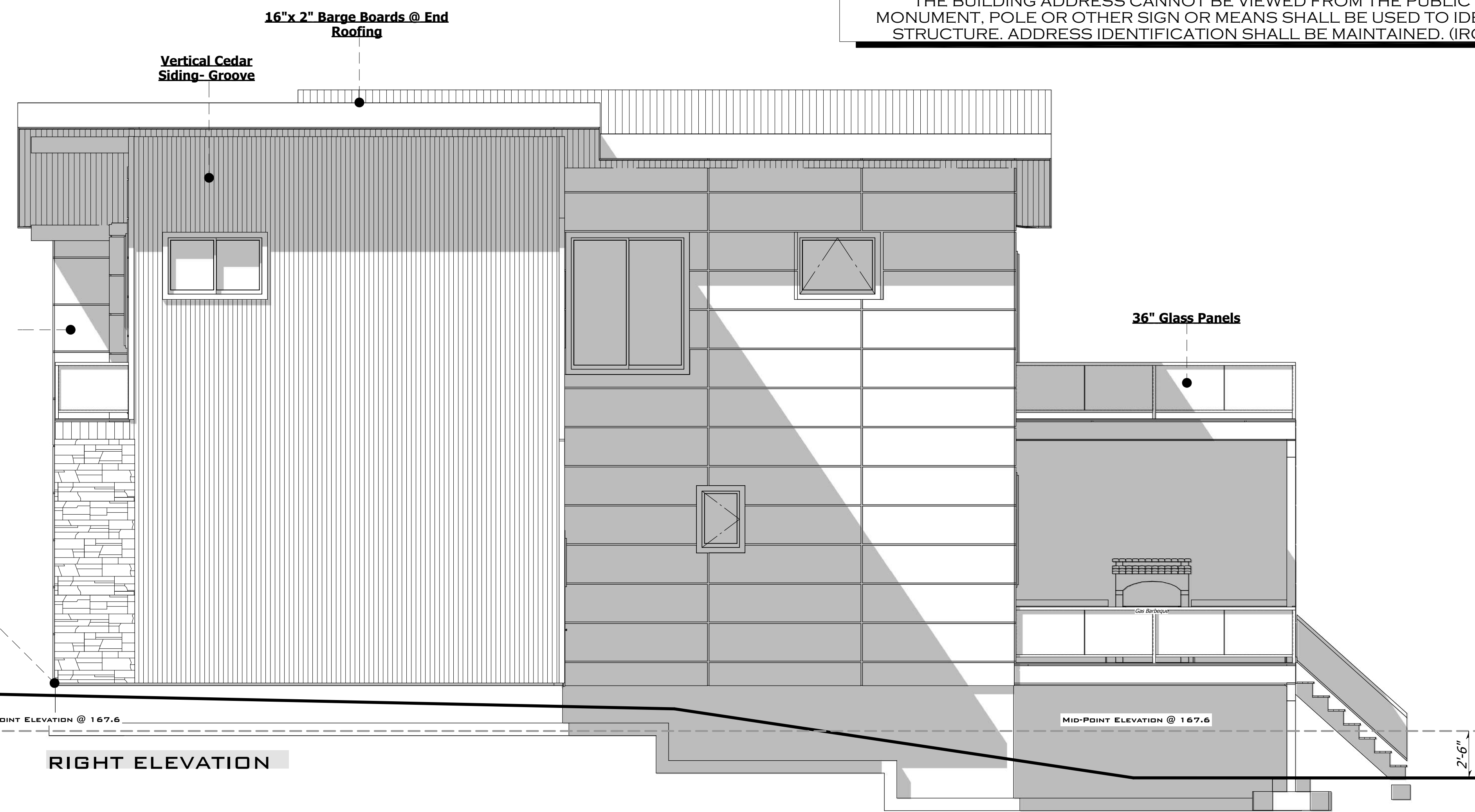
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LEFT ELEVATION

SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6" WITHIN THE FIRST 10' (R401.3).

ADDRESS IDENTIFICATION BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. (IRC R319.1)



RIGHT ELEVATION

Adhered masonry veneer - 1/2" Minimum Above exterior waling surfaces which are supported by the same foundation that supports the exterior wall.

ELEVATIONS SCALE 1/4" = 1'

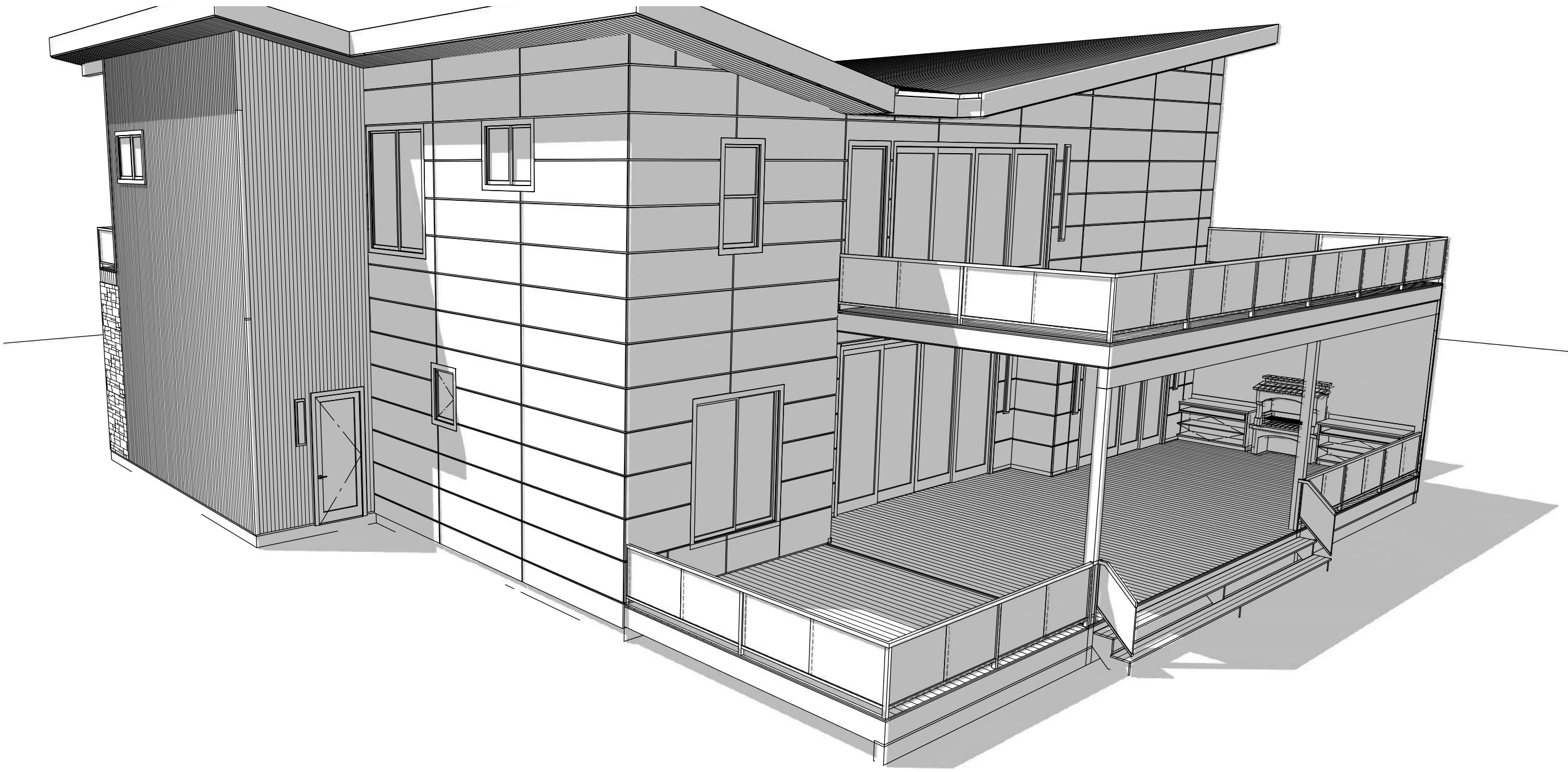
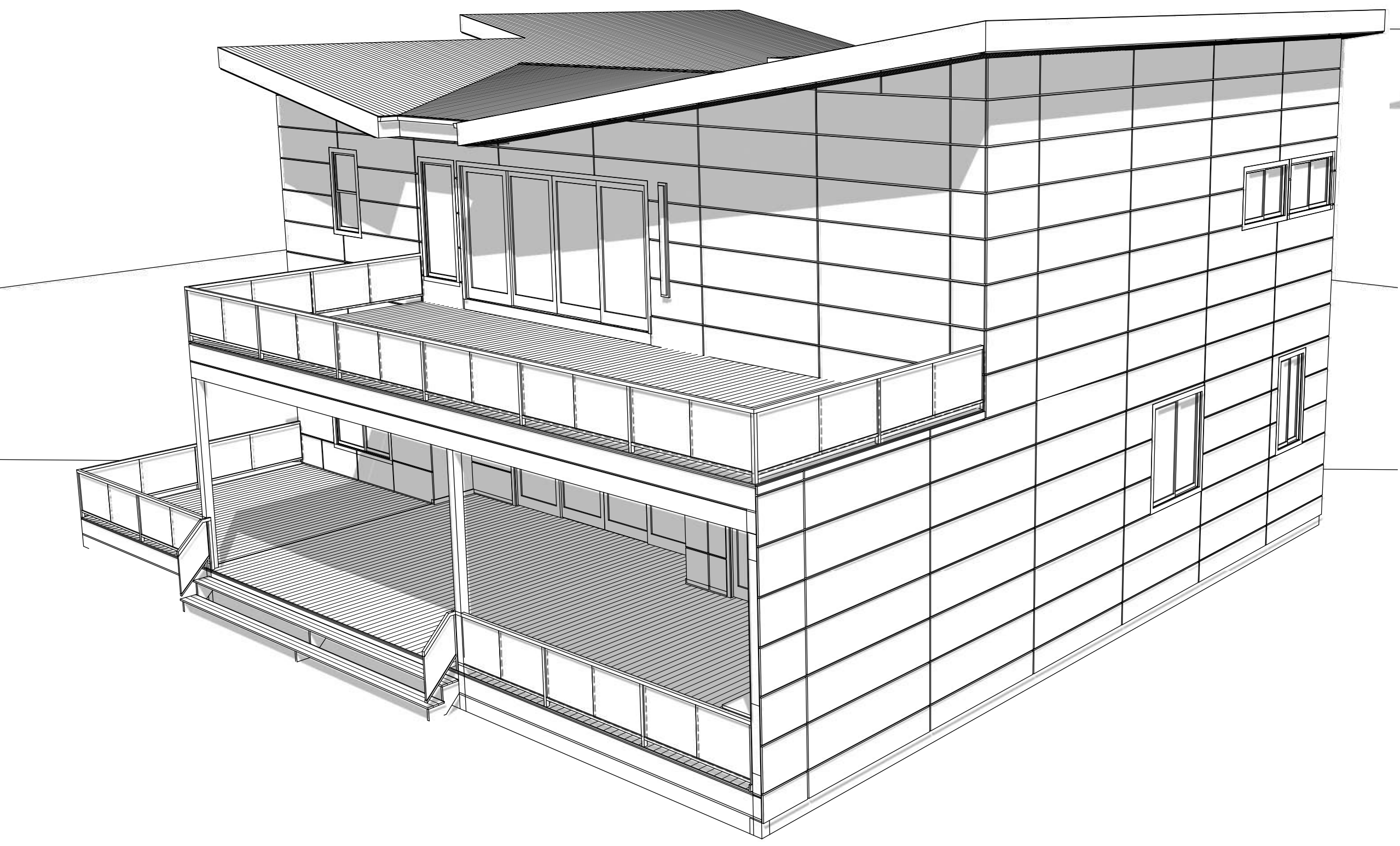
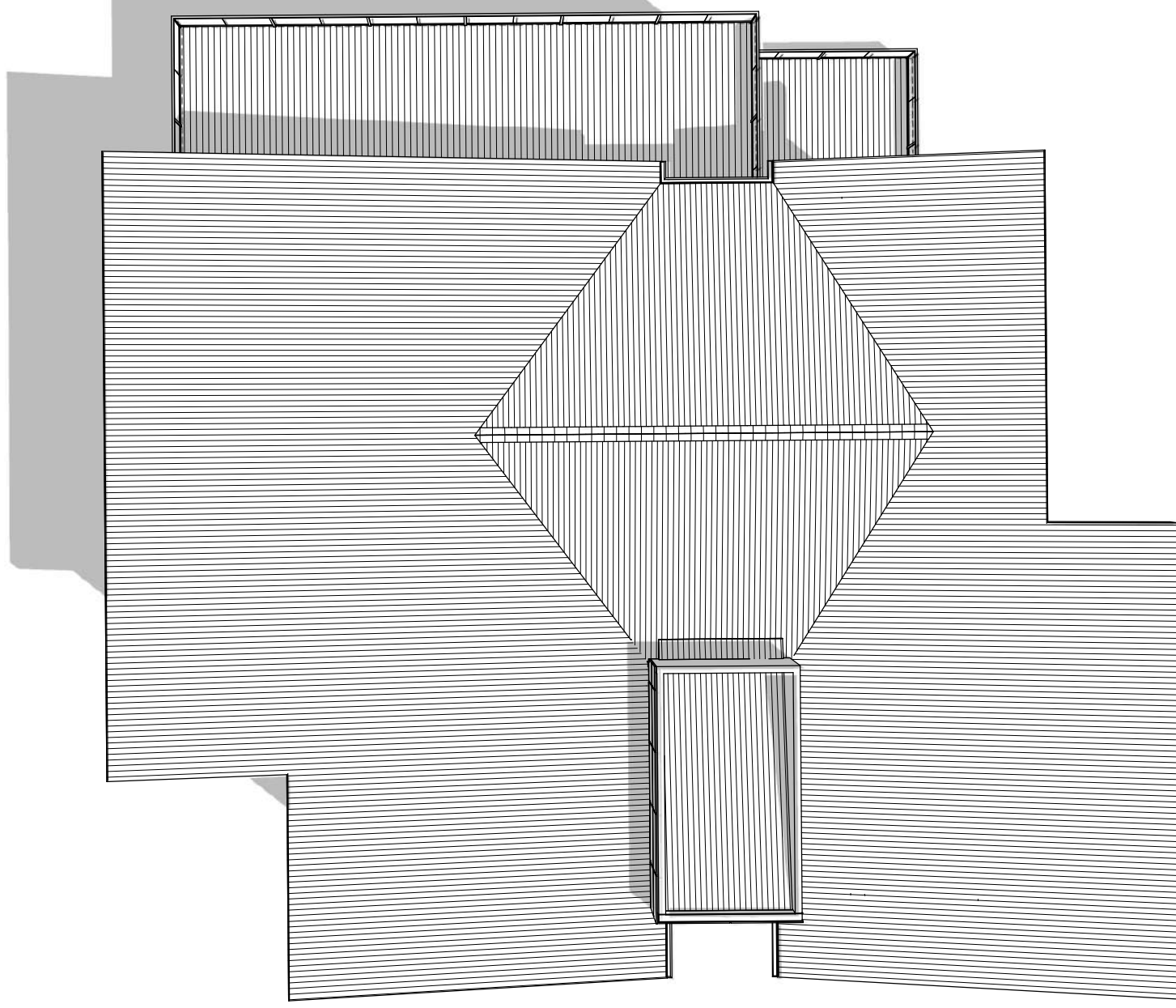
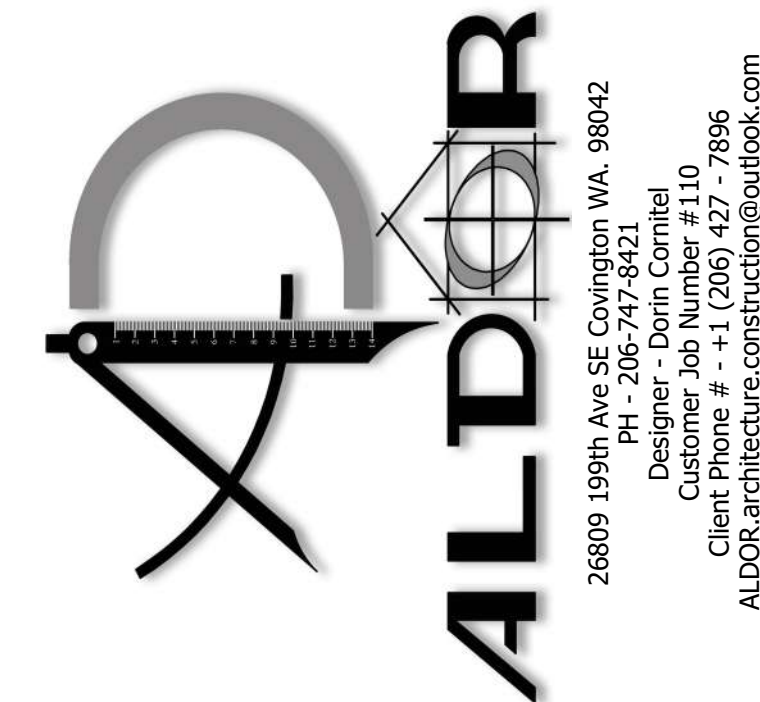
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 MERCER ISLAND, WA
 98040
 PARCEL # - 265550-0176

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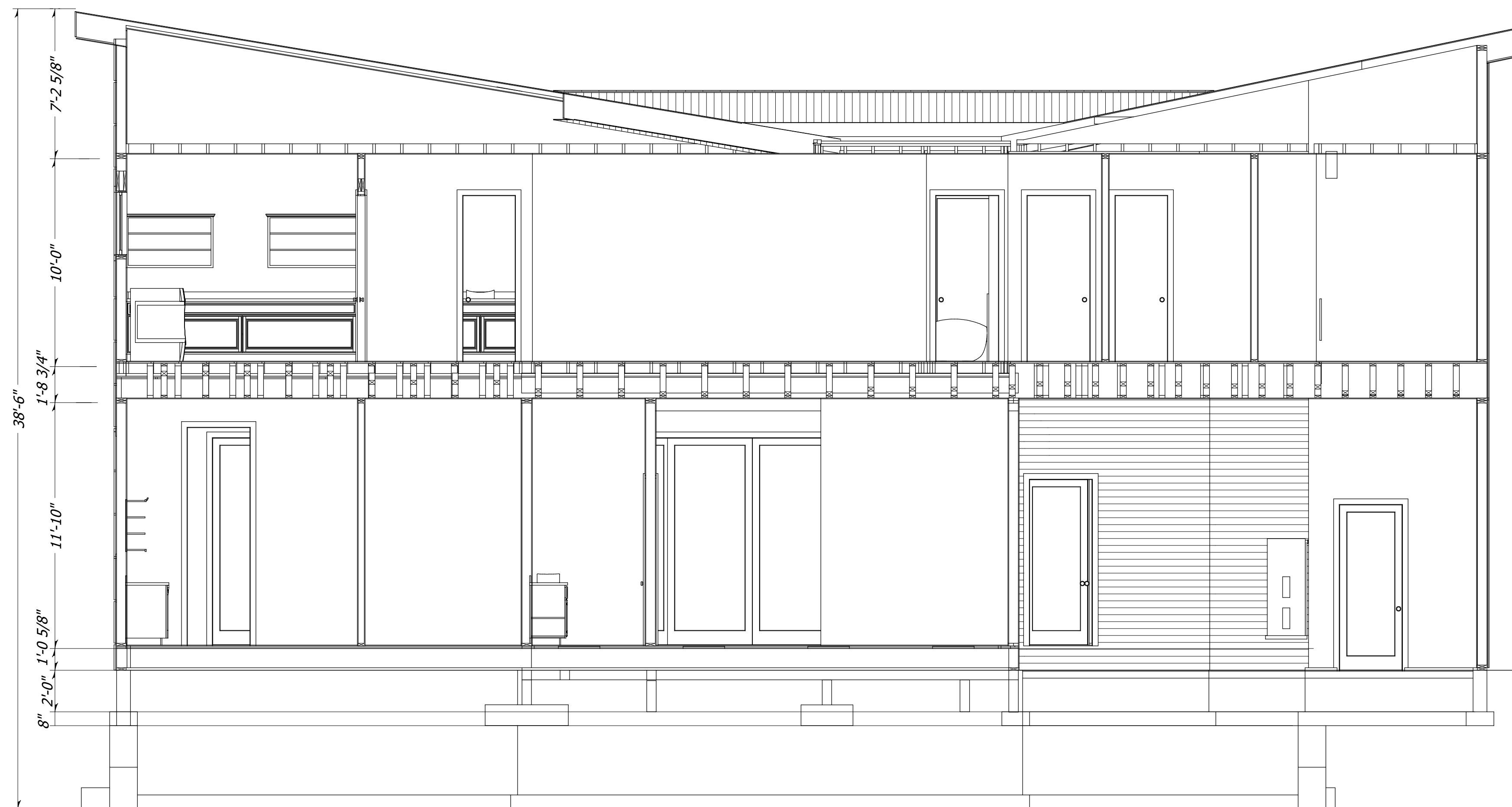
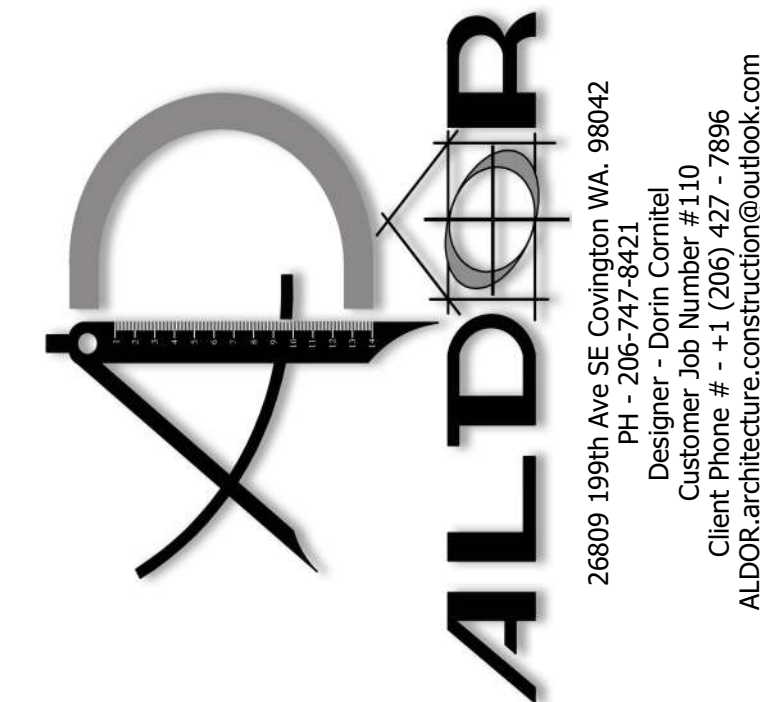


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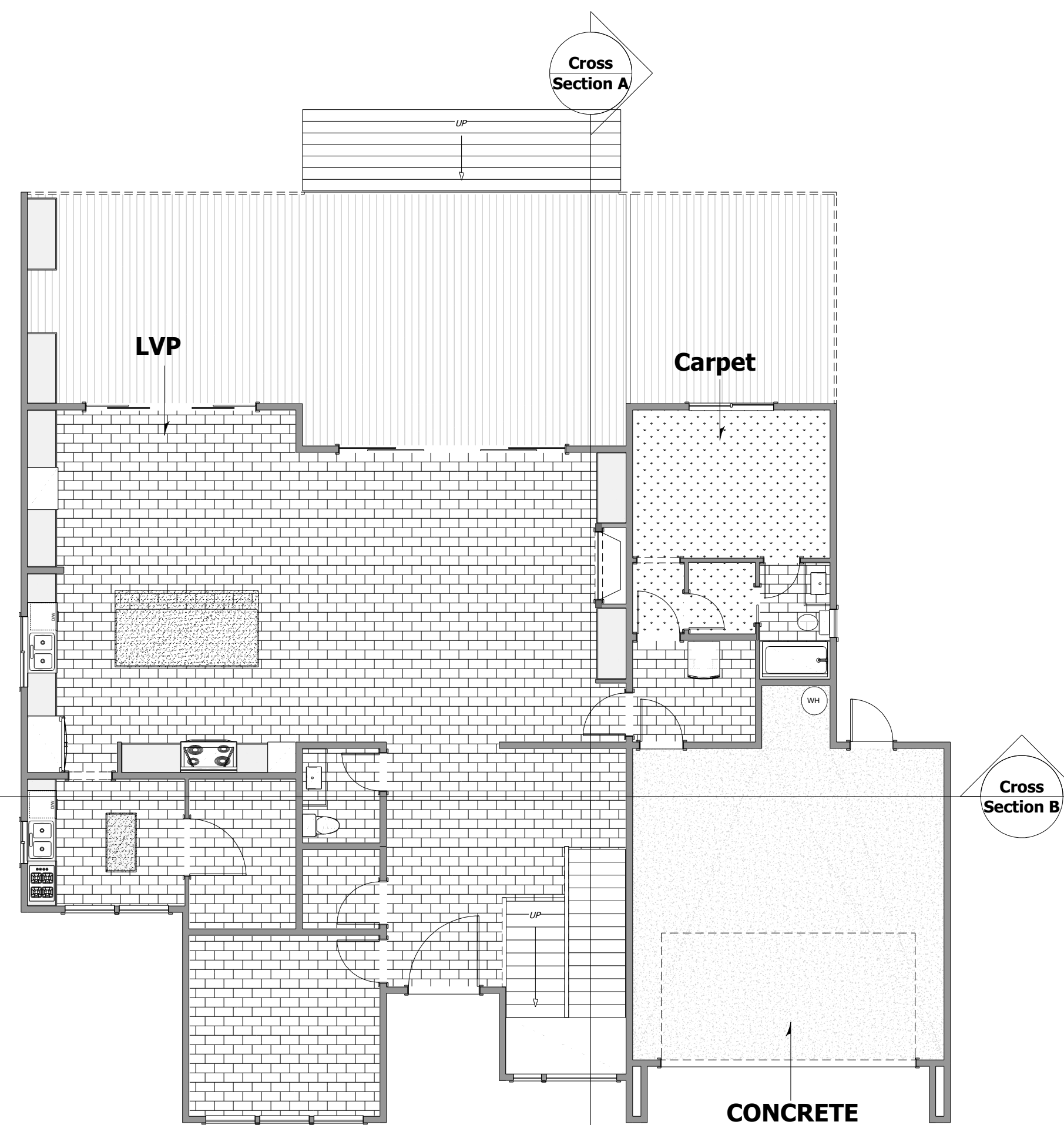
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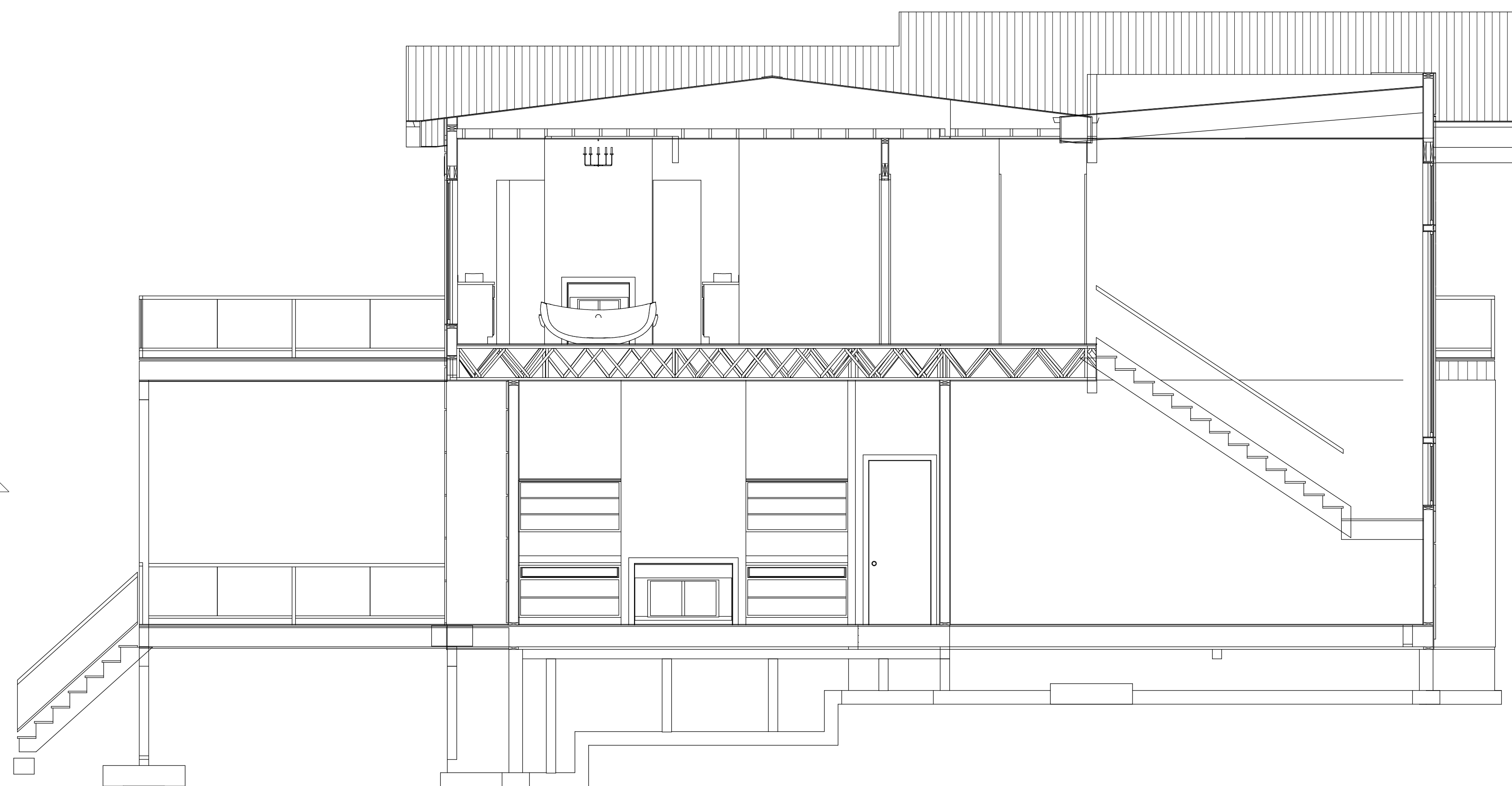
Sheet Description
3D's
 Plan Name
 9734 SE 40TH ST
 MERCER ISLAND WA.
 98040



CROSS SECTION A
 SCALE 1/4" = 1'



FLOOR COVERING
 SCALE 1/8" = 1'



CROSS SECTION B
 SCALE 1/4" = 1'

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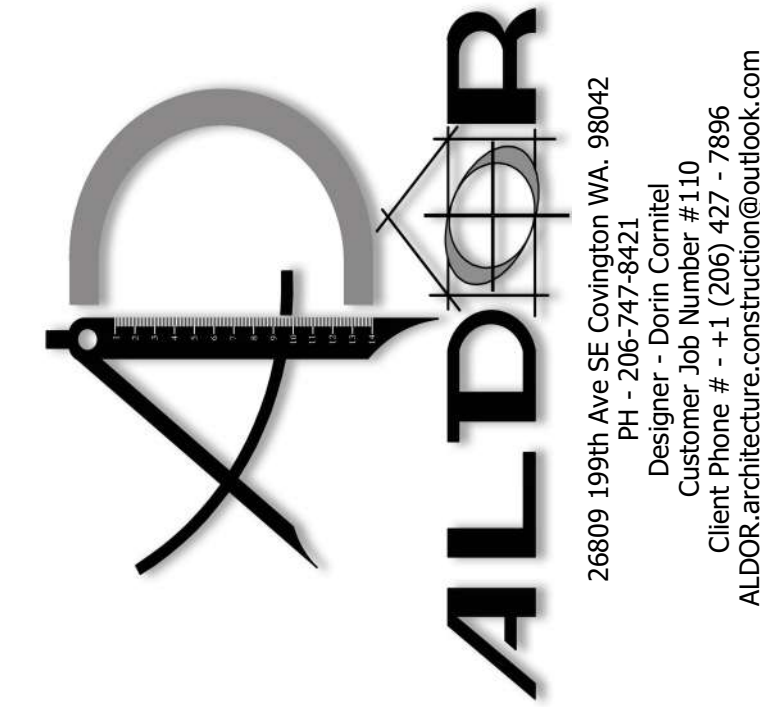
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Sheet Description
**CROSS SECTIONS
 & FLOOR
 COVERING**

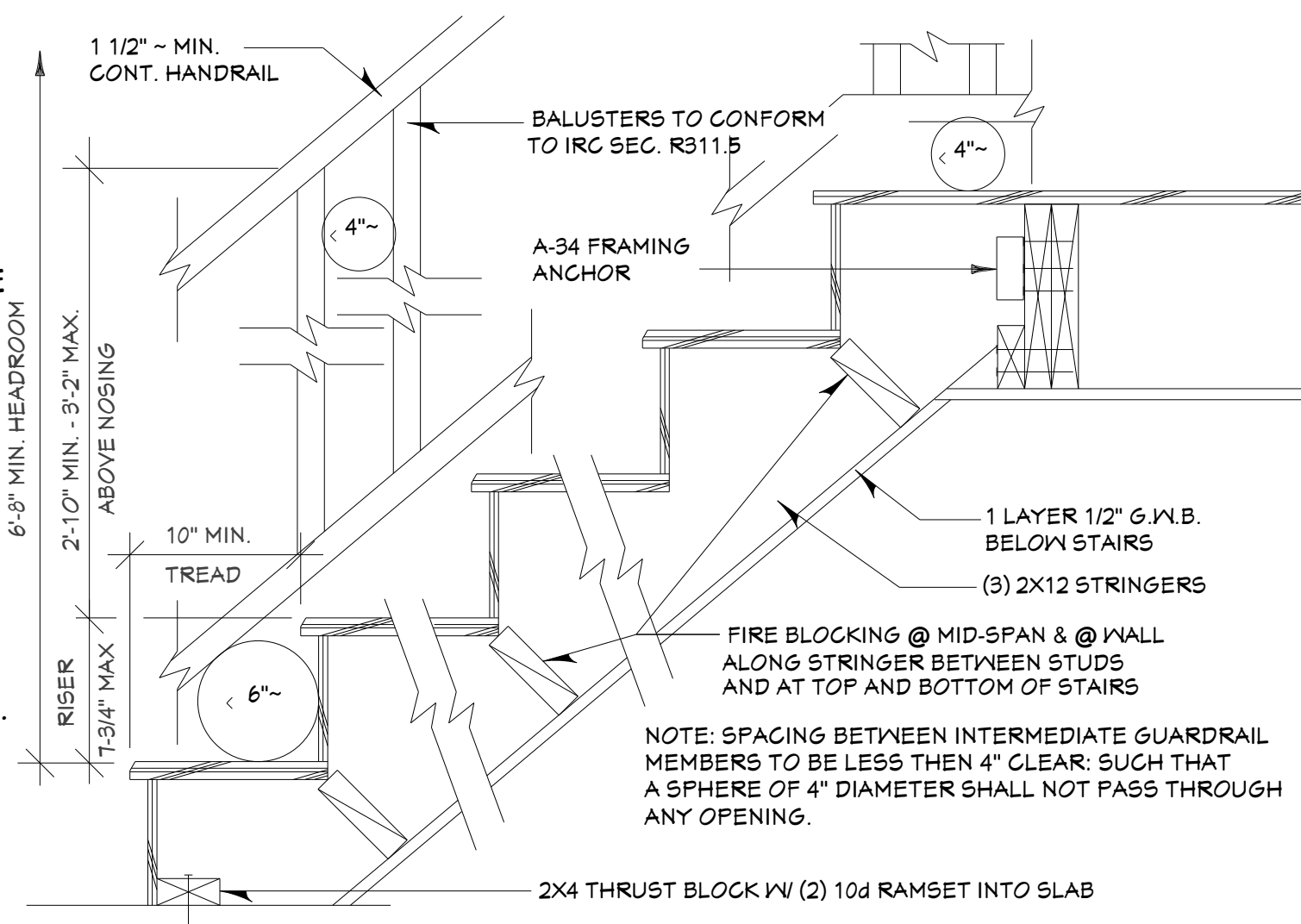
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1

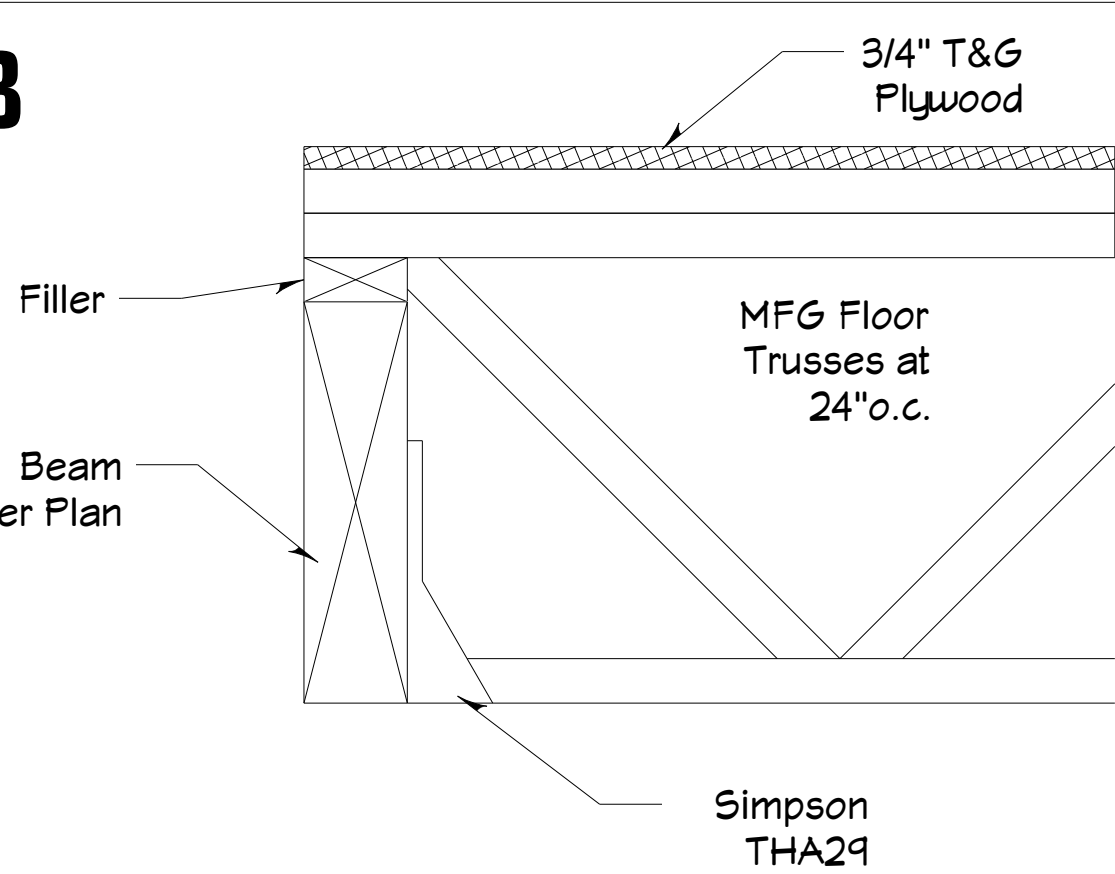
NOTES: PER IRC SECTION 303.6, R311.5.7 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIR INCLUDING LANDINGS & TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP OF THE LANDING OF THE STAIRWAY. LIGHTING CONTROLS SHALL BE ACCESSIBLE AT THE TOP & BOTTOM OF EACH STAIRWAY WITHOUT TRAVERSING ANY STEPS. 4 OR MORE RISERS TO HAVE AT LEAST ONE HANDRAIL RUNNING CONTINUOUS THROUGH FULL LENGTH OF STAIR 34" MIN. HT., 38" MAX. HEIGHT. END SHALL RETURN TO WALL OR NEWEL POST OR VOLUTE. HANDRAIL MUST BE STRONG ENOUGH TO RESIST A 200 LB. FT. LOAD IN ANY DIRECTION. HANDRAIL TO BE PRESENT ON AT LEAST ONE SIDE OF STAIR. HAND GRIP PORTION OF HANDRAILS SHALL HAVE CIRCULAR CROSS SECTION OF 1-1/4" MIN. & 2-1/4" MAX. EDGES SHALL HAVE A MIN. RADIUS OF 0.01". ALL REQUIRED GUARDRAILS TO BE 36" MIN. IN HEIGHT.



STAIR DETAIL

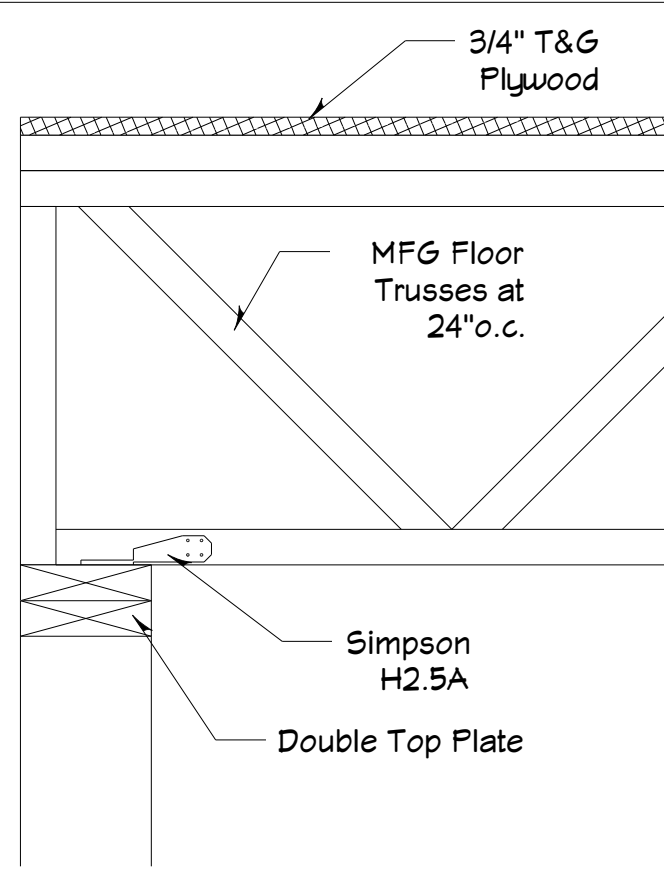
DETAILS

3



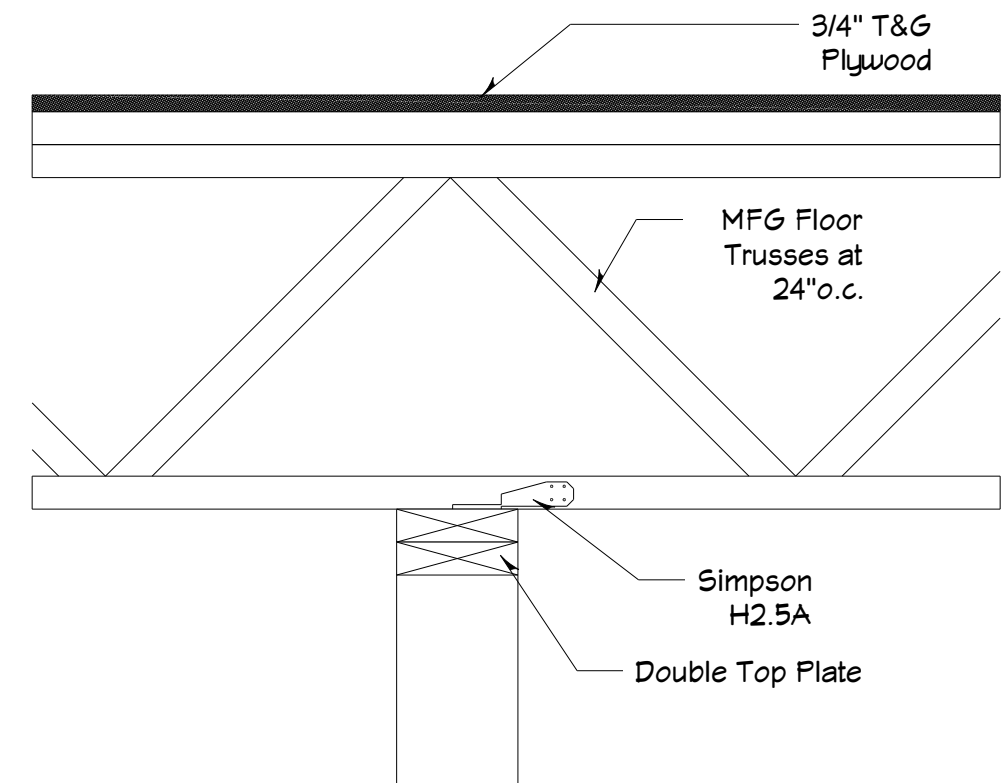
FLOOR TRUSS TO UPSET BEAM DETAIL

4



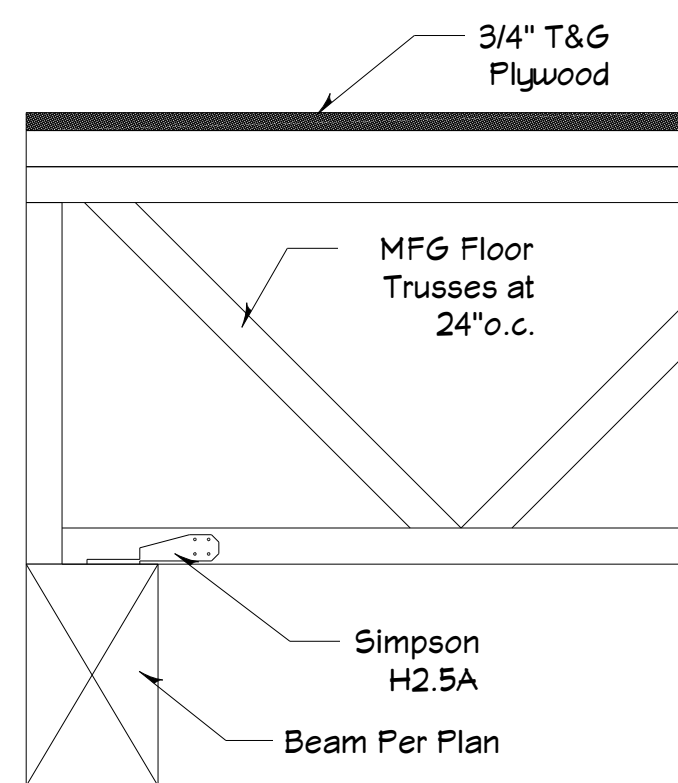
FLOOR TRUSS TO WALL DETAIL

6



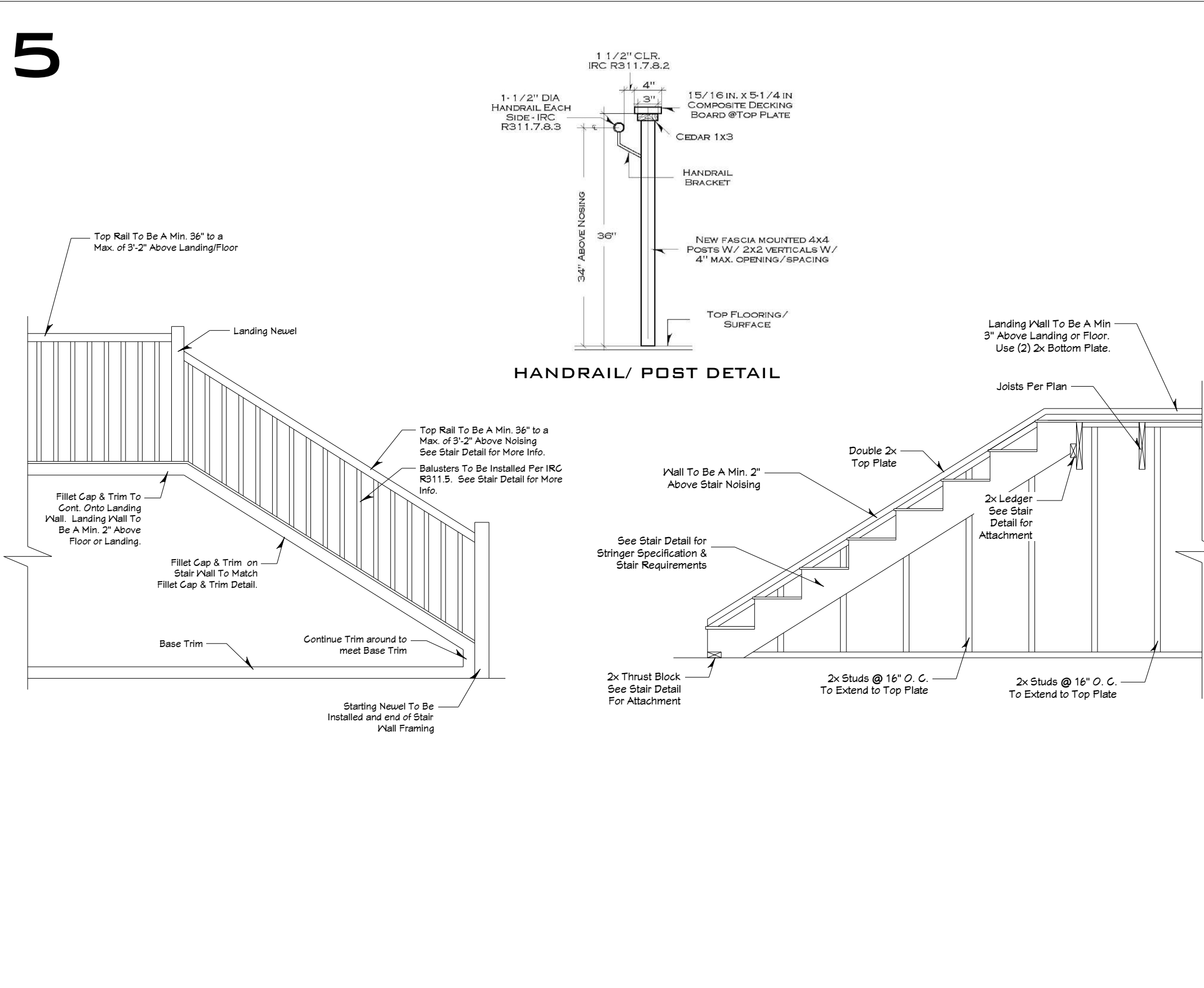
FLOOR TRUSS @ INTERMEDIATE BEARING WALL

7



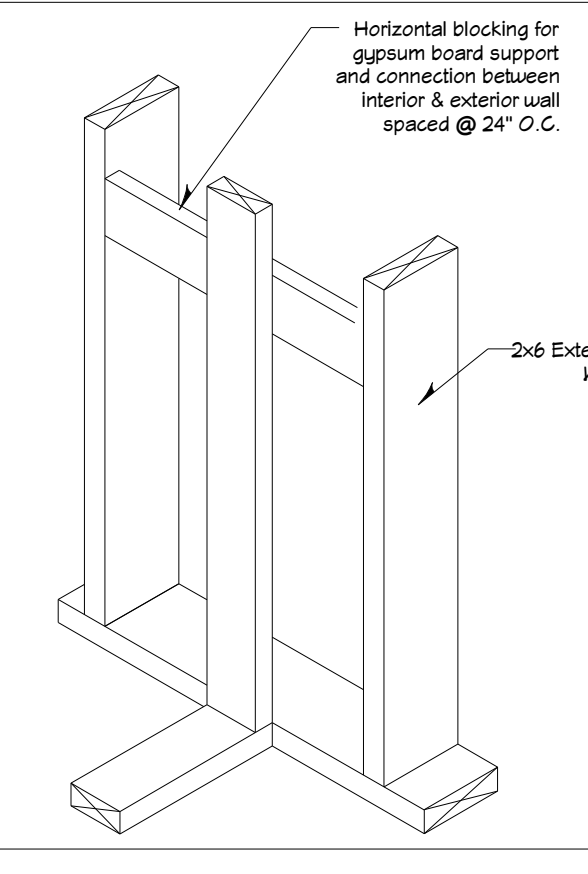
FLOOR TRUSS TO DROPPED BEAM DETAIL

5



STAIR W/RAILING - FRAMING DETAIL

8



LADDER FRAMING WALL DETAIL

9

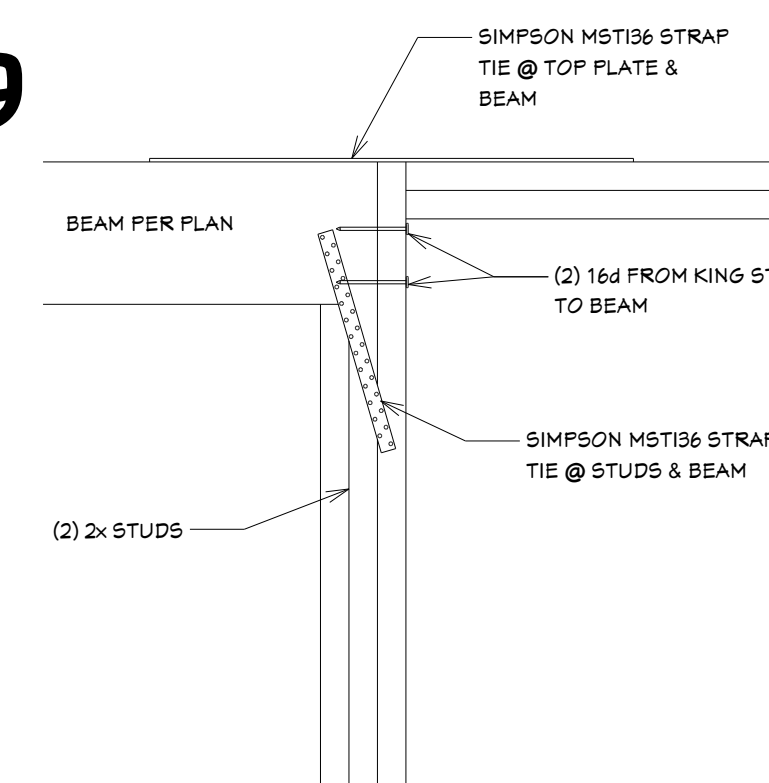


PLATE BREAK @ BEAM DETAIL

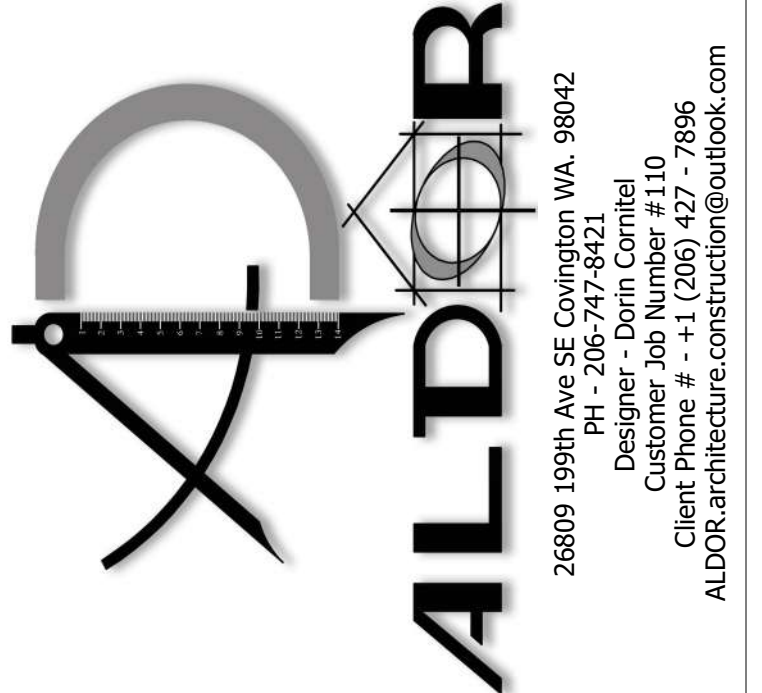
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Foundation Notes - Two Story

See Building Sections and Details Sheet within this set for Details and Callouts for Foundation and Wall to Foundation connectivity.

Two Story Perimeter Foundation that will support a 2x6 Framed Stud Wall shall consist of a 16"x 8" Min. Continuous Concrete Footing Per Engineering.

Garage Foundations that will support a Two Story 2x6 Framed Stud Wall shall consist of a 16"x 8" Min. Continuous Concrete Footing Per Engineering.

Foundation Stem Walls for a Two Story Bearing Walls shall consist of a 22" - 24" Tall x 8" Wide Stem Wall Per Engineering.

Please See Engineering "L" Pages for Holddown Locations. If Foundation needs to be a Stepped Foundation, See "Step Footing" on Engineering Sheet D1.

Foundation Contractor to verify vent placement is done to IRC code. To ensure plumbing access for fixtures, see drain dimensions on foundation. See Floor Joists MFG Layout for Start Location.

Roof Venting Requirements

Attic Ventilation shall be in accordance to Section R806. Exception applied due to use of continuous Ridge Vent ("Core-Vent") ventilating upper portion. Exception rate of ventilation per s.f. = 1/300, or 1 s.f. of ventilation per 300 s.f. of Attic Space. Lower portion of roof is vented with bird blocks installed between every truss.

Roofing Notes

Use Composition Asphalt Shingles per Building Package Specification. Maintain a distance of 12" Min. from any Ridge or Valley. Use 2 Layers of Felt on roofs with less than 4/12 roof pitch. Use "Cor-a-Vent" Roof Vent or equal at entire Ridge Area. Use Aluminum Gutters or equivalent.

Truss Notes

Pre-Engineered / Pre-Manufactured Roof Trusses (Pitch Specified on Page 4 - If vaulted truss, inside vault is half pitch size U.N.O.) @ 24" o.c. Use "Bird Blocks" between each Truss @ Plate Line. Place Outlooks over Gable Ends @ 48" o.c.

Framing Notes

Roof Trusses shall be Pre-Engineered/Pre-Manufactures Wood Trusses spaced at 24" o.c. Flat ceiling trusses over entire area with the exception of Scissor Truss over Specified areas. Note Line of soffit on Floor Plan.

All Trusses shall be installed and braced according to the Manufacturer's instructions. Design calculations shall be kept with the Building Permit and shall be made readily available to the Building Inspector at the time of inspection. All Permit documents shall be kept in a waterproof enclosure for the duration of the project.

Outlooks shall be 2x4 spaced at 48" o.c. @ each Gable End.

Roof Sheathing Nailing shall be at 8d @ 6" o.c. Panel Edges and 12" o.c. @ Intermediates.

Wall Sheathing Nailing shall be at 8d @ 6" o.c. Panel Edges and 12" o.c. @ Intermediates, U.N.O. (See Panel Details for additional information.)

All Exterior Wall Headers shall be a 4x w/ 2 sheets of R-5 Rigid Insulation install on inside of header. In the case that a 6x header is required, insulation of header is not required.

All Exterior Wall Headers shall be a 4x8 DF#2 U.N.O.

All Blocking @ Roof Trusses exposed to the exterior shall be screened "Bird Block".

Garage Notes

Garage walls, columns, and ceilings adjacent to or under dwelling areas shall have materials approved for One-Hour fire resistive construction.

Air ducts passing through one-hour fire resistive construction shall be a minimum of 26-gauge steel.

All electrical switch plates and box covers in the garage shall be metal and lights with boxes behind them shall not be plastic.

All piping passing through one-hour fire resistive construction shall be metal.

Air ducts and or Piping supported by structural members that are required to be fire protected shall be installed after the sheetrock has been applied. Ducts and or Piping may be enclosed within a soffit that has the same degree of fire protection required for the structural members that it attaches to. Framing members for the soffit shall not exceed 16" on center.

Water heater shall have a relief valve drain line to the outside of the building. Per F2803.6.1 (10) of the 2021 IRC, the discharge not terminate more than 6 in above the floor or waste receptor.

General Notes

All construction to conform to the 2021 International Residential Code

CONCRETE: Compressive strength for basement and foundation walls exposed to weather as well as porches, carport slabs and steps shall be a min. 3,000 p.s.i. at 28 days. Concrete shall be air entrained at between 5 & 7%.

REINFORCING STEEL: All steel #4 or smaller shall be A-615, grade 40, unless installed in a reinforced concrete foundation, otherwise grade 60.

SMOKE ALARMS: "Shall be installed in each sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. Required alarms shall received their primary power from the building wiring and shall be equipped with battery backup. Alarms shall be interconnected to provide audibility in all areas."

MFG INSTALLATION: R106.1.2 Manufacturer's installation instructions. Manufacturer's installation instructions, as required by this code, shall be available on the job site at the time of inspection.

FASTENER NOTES: As a minimum, any fastener in contact with pressure treated wood must be Hot Dip galvanized (ASTM A123 for connectors and ASTM 153 for fasteners and anchors).

SANITARY SEWER: To Provide Adequate Drainage the Sewer Connection will exit the home UNDER the Footing. DO NOT EXCAVATE THE SITE TO DEEP!

WHOLE HOUSE VENTILATION: Ventilation shall consist of source specific Intermittently operating fans with a minimum 50 cfm rating in bathrooms and utility and a minimum 100 cfm in the kitchen. Utility room fan to be controlled by a timer. Windows in habitable rooms to include integral fresh air intake vents.

DRYER VENTING: Dryer to be vented to outside. Maximum length not to exceed 25 feet less 5' for each 90 degree bend. Per IRC 1502.

RO Framing on Door Units for 1-3/8" Clearance

Exterior Doors		
Door Type	RO Width	RO Height
Exterior:	Door width + 2"	82"-1/2"
Exterior 1S/L:	Door width + S/L + 4"	82"-1/2"
Exterior 2S/L:	S/L + Door width + S/L + 5-1/2"	82"-1/2"
Exterior Double:	2 x door width + 3"	82"-1/2"
Interior Doors		
Door Type	RO Width	RO Height
Interior:	Door width + 2"	Height + 2-1/2"
Interior Double	2x door width + 3"	Height + 2-1/2"
Bifolds:	Door callout size + 1-1/4"	82"
Bypass:	2x door width	83"
Fire Door		
Door Type	RO Width	RO Height
Fire Door:	Door width + 2"	83"
Note: Heights are from subfloor to rough header with all jambs @ 3/4" Exterior Doors are for fiberglass and metal std height only Closet openings w/ 1/2" drywall on 3 sides		

WAC 51-52-0202 Section 202—General definitions.

BALANCED WHOLE HOUSE VENTILATION. Any combination of concurrently operating residential dwelling or sleeping unit mechanical exhaust and mechanical supply whereby the total mechanical exhaust airflow rate is within 10 percent or 5 cfm, whichever is greater, of the total mechanical supply airflow rate.

NOT BALANCED WHOLE HOUSE VENTILATION. A whole house ventilation system serving a dwelling or sleeping unit that is not considered balanced in accordance with the definition in this code for balanced whole house ventilation system. Only other than Group R-2 dwelling and sleeping units are allowed in accordance with Section 403.4.4.1 to have not balanced whole house ventilation systems.

DISTRIBUTED WHOLE HOUSE VENTILATION. A whole house ventilation system shall be considered distributed when it supplies outdoor air directly (not transfer air) to each dwelling or sleeping unit habitable space, (living room, den, office, interior adjacent room, interior adjoining spaces or bedroom), and exhausts air from all kitchens and bathrooms directly outside.

NOT DISTRIBUTED WHOLE HOUSE VENTILATION. A whole house ventilation system shall be considered not distributed when either the supply system or the exhaust system is not distributed. Supply systems are not distributed when a habitable space is supplied with outdoor air to ventilate an interior adjacent room or an interior adjoining space. Exhaust systems are not distributed when all bathrooms and kitchens are not exhausted by the whole house ventilation system. If either the supply system or the exhaust system is not distributed, then the ventilation quality adjustment system coefficient adjustment is required in accordance with Section C403.4.3.

M1505.4.4.1 Local Exhaust

Bathrooms, toilet rooms, and kitchens shall include a local exhaust system. Such local exhaust systems shall have the capacity to exhaust the minimum airflow rate in accordance with Table M1505.4.4.1. Fans required by this section shall be provided with controls that enable manual override or automatic occupancy sensor, humidity sensor, timer controls, or pollutant sensor controls. An "on/off" switch shall meet this requirement for manual controls. Manual fan controls shall be readily accessible in the room served by the fan

1504.3 Exhaust Openings

1504.3 Exhaust Openings
Air exhaust openings shall terminate as follows:
Not less than 3 feet (914 mm) from property lines.
Not less than 3 feet (914 mm) from gravity air intake openings, operable windows and doors.
Not less than 10 feet (3048 mm) from mechanical air intake openings except where either of the following apply:
The exhaust opening is located not less than 3 feet (914 mm) above the air intake opening.
The exhaust opening is part of a factory-built intake/ exhaust combination termination fitting installed in accordance with the manufacturer's instructions, and the exhaust air is drawn from a living space.
Openings shall comply with Sections R303.5.2 and R303.6.

M1505.4.4.2 Local Exhaust Fans

Exhaust fans shall meet the following criteria:
Exhaust fans shall be tested and rated in accordance with the airflow and sound rating procedures of the Home Ventilating Institute (HVI) 915, HVI Loudness Testing and Rating Procedure, HVI 916, HVI Airflow Test Procedure, and HVI 920, HVI Product Performance Certification Procedure).
Fan airflow rating and duct system shall be designed and installed to deliver at least the exhaust airflow required by Table M1505.4.4.1. The airflows required refer to the delivered airflow of the system as installed and tested using a flow hood, flow grid, or other airflow measurement device. Local exhaust systems shall be tested, balanced, and verified to provide a flow rate not less than the minimum required by this section.
Design and installation of the system or equipment shall be carried out in accordance with manufacturers' installation instructions.
Intermittent local exhaust systems serving kitchens shall be rated for sound at a maximum of 3 sones at one or more airflow settings not less than 100 cfm at a static pressure not less than that determined at working speed as specified in HVI 916 Section 7.2.
Continuous local exhaust systems serving kitchens shall be rated for sound at a maximum of 1 sone at one or more airflow settings not less than 100 cfm at a static pressure not less than that determined at working speed as specified in HVI 916 Section 7.2.
EXCEPTIONS:
The installed airflow is not required to be field-verified where an exhaust airflow rating at a pressure of 0.25 in. w.g. is used, provided the duct sizing meets the prescriptive requirements of Table M1505.4.4.2.
Remote mounted fans need not meet sound requirements. To be considered for this exception, a remote mounted fan shall be mounted outside the kitchen, and there shall be at least 4 feet (1 m) of ductwork between the fan and the intake grille.

TABLE 1505.4.3(1)CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	>7
	Airflow in CFM				
<1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
>7,500	105	120	135	150	165

For St: 1 square foot = 0.0929 m², 1 cubic foot per minute = 0.0004719 m³/s.

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NOTES
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9734 SE 40TH ST
MERCER ISLAND WA.
98040

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STRUCTURAL NOTES

- DESIGN CRITERIA:
1. BUILDING CODE: 2021 INTERNATIONAL BUILDING CODE
2. VERTICAL LOADS: ROOF FLOOR DECK
LIVE LOAD 25 psf 40 psf 60 psf
SNOW LOAD 25 psf 0 psf 25 psf
DEAD LOAD 20 psf 12 psf 15 psf
3. LATERAL LOAD FORCES TRANSMITTED BY DIAPHRAGM ACTION TO WOOD SHEARWALLS AND THENCE TO FOUNDATION WHERE DISPLACEMENT IS RESISTED BY PASSIVE PRESSURE AND SLIDING FRICTION OF EARTH.
4. SNOW DESIGN DATA (ASCE 7-16)
FLAT SNOW LOAD, pf: 21 psf
SNOW EXPOSURE FACTORY, Ce: 1.0
SNOW IMPORTANCE FACTOR, is: 1.0
THERMAL FACTOR, ct: 1.1
WIND DESIGN DATA (ASCE 7-16)
WIND SPEED: V=110 mph
RISK CATEGORY: II
EXPOSURE CATEGORY: C
5. SEISMIC DESIGN DATA (ASCE 7-16)
SEISMIC FORCE RESISTING SYSTEM: WOOD SHEARWALLS
RISK CATEGORY: II
SEISMIC IMPORTANCE FACTOR, Ie: 1
MAPPED SPECTRAL RESPONSE ACCELERATION: Ss=1.60, S1=0.60
DESIGN SPECTRAL RESPONSE ACCELERATION: Sds=1.28, Sd1=0.68
SITE CLASS: D
SEISMIC DESIGN CATEGORY: D
SEISMIC RESPONSE COEFFICIENT, Cs: 0.197
RESPONSE MODIFICATION COEFFICIENT, R: 6.5
EQUIVALENT LATERAL FORCE PROCEDURE (ASCE 7 12.8.1)
DESIGN BASE SHEAR: 31.5k
SOIL PROPERTIES
BEARING CAPACITIES: 1500 psf
LATERAL CAPACITY: 250 psf/ft

GENERAL

THE STRUCTURAL CONSTRUCTION DOCUMENT REPRESENTS THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES, SEQUENCES OF PROCEDURE OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO.

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST ADDITION AND/OR ADDENDA.

ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.

OPTIONS FOR CONTRACTOR'S CONVENIENCE. IF AN OPTION IS CHOSEN, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CHANGES AND SHALL COORDINATE ALL DETAILS.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. RESOLVE ANY DISCREPANCIES WITH ARCHITECT.

TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.

WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN.

ANY ENGINEERING DESIGN, PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL OF A REGISTERED ENGINEER RECOGNIZED BY THE BUILDING CODE JURISDICTION OF THIS PROJECT.

ALL GRAVITY LOADS RESISTING AND LATERAL LOAD RESISTING STRUCTURAL MEMBERS ARE SHOWN ON THE ENGINEERING S PAGES. THE ENGINEERING CALCULATIONS ARE NOT REQUIRED TO BE REFERENCED FOR CONSTRUCTION, AND DON'T NEED TO BE ON SITE.

CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS HAVE BEEN INSTALLED. ENGINEER AND DESIGNER SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES AT THE TIME THEY ARE NOTED.

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITY LINES. CALL 1-800-424-5555 48 HOURS BEFORE DIGGING.

INFORM ENGINEER OF ALL CHANGES PROPOSED ON THE DRAWINGS OR SPECIFICATIONS BY THE ARCHITECT-NOTES PRIOR TO CONSTRUCTION OF THE CHANGE.

CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHOD, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY OF THE WORKERS AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND FOR COORDINATING ALL PORTIONS OF THE WORK.

DRAWINGS SHALL BE USED FOR ONLY ONE CONSTRUCTION AND FOR LOCATIONS INDICATED HEREIN.

PLYWOOD WEB JOISTS

DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST EDITION I.C.C. REPORT ESR-1305. CONNECTIONS AND BEARING MATERIAL TO BE SHOP CONNECTED TO JOISTS AND DESIGNED AND FURNISHED BY JOIST FABRICATOR.

MANUFACTURED I-JOISTS SHALL CONFORM TO ASTM505.

CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMITED AS FOLLOWS:

FLOOR LIVE LOAD MAXIMUM = L/480. FLOOR TOTAL LOAD MAXIMUM = L/240.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH DESIGN CALCULATIONS SEALED BY A REGISTERED ENGINEER FOR REVIEW PRIOR TO MANUFACTURE.

ADDITIONAL JOISTS SHALL BE SUPPLIED AS REQUIRED TO SUPPORT MECHANICAL EQUIPMENT.

FOUNDATIONS

ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL OR APPROVED FILL 12" MINIMUM BELOW FINISHED GRADE. FINISHED GRADE IS DEFINED AS TOP OF SLAB FOR INTERIOR FOOTINGS AND LOWEST ADJACENT GRADE EXTENDING UP TO 5 FEET FROM WALL FOR PERIMETER FOOTINGS. DESIGN SOIL BEARING VALUE = 1500 PSF.

WHERE REQUIRED BY THE BUILDING OFFICIAL, THE CLASSIFICATION AND INVESTIGATION OF THE SOIL SHALL BE PERFORMED BY A REGISTERED DESIGN PROFESSIONAL (1806.2) UNLESS A SOIL INVESTIGATION IS PROVIDED. FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 1500 PSF. ORGANIC SILT, ORGANIC CLAYS, PEAT OR UNPREPARED FILL SHALL NOT BE ASSUMED TO HAVE BEARING CAPACITY (1806.2)

THIS ENGINEERING IS BASED ON SITE CLASS D SOILS IN ACCORDANCE WITH TABLE 1806.2 OF THE 2021 IBC.

SITE GRADING: THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5 PERCENT FOR A MINIMUM OF 10 FEET.

COMPACTED FILL MATERIAL SHALL NOT BE USED UNLESS ALLOWED BY A SOILS ENGINEERING REPORT.

CONCRETE

MINIMUM 28 DAY STRENGTH 2,500 PSI (f'c = 2,500 PSI) U.N.O.

ALL CONCRETE CONSTRUCTION SHALL CONFORM TO A.C.I. MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED, EXCEPT SLABS ON GRADE NEED ONLY BE VIBRATED AT TRENCHES, FLOOR DUCTS, TURNDOWNS, ETC. MINIMUM SLUMP 4" FOR CONCRETE WITHOUT PLASTICIZER. IF PLASTICIZER IS USED, A HIGHER FINAL SLUMP MAY BE ALLOWED UPON STRUCTURAL ENGINEER'S APPROVAL. UNLESS APPROVED OTHERWISE IN WRITING BY THE ARCHITECT, ALL CONCRETE SLABS ON GRADE SHALL BE BOUND BY CONTROL JOINTS (KEYED OR SAW CUT), AS SHOWN ON THE FOUNDATION PLAN, SUCH THAT THE ENCLOSED AREA DOES NOT EXCEED 225 SQUARE FEET. KEYED CONTROL JOINTS NEED ONLY OCCUR AT EXPOSED EDGES DURING POURING, ALL OTHER JOINTS MAY BE SAW CUT.

FLY ASH - IF PERMITTED BY ARCHITECTURAL SPECIFICATIONS - SHALL BE LIMITED TO 18% OF CEMENTITIOUS MATERIALS AND SHALL HAVE A REPLACEMENT FACTOR OF 1.2 RELATIVE TO CEMENT REPLACED. NO FLY ASH ADDITIVES SHALL BE USED IN FLATWORK OR ARCHITECTURALLY EXPOSED CONCRETE.

CONCRETE MINIMUM REINFORCEMENT

THE FOLLOWING MINIMUM REINFORCEMENT SHALL BE PROVIDED U.N.O. ON THE DRAWING:

- 1. PROVIDE HORIZONTAL CORNER BARS AT ALL FOOTINGS AND WALL CORNERS AND HOOK BARS FOR T INTERSECTIONS WITH EQUAL SIZE AND SPACING OF THE HORIZONTAL REINFORCING USING THE INDICATED DETAILS OF SIMILAR SECTIONS AND DETAILS AS TYPICAL.
2. PROVIDE ONE #4 VERTICAL BAR - FULL HEIGHT OF WALL AT THE CORNER OR T INTERSECTION.
3. PROVIDE A MINIMUM OF 0.2% REINFORCEMENT OF GROSS CONCRETE AREA OF WALL IN HORIZONTAL DIRECTION AND 0.12% IN VERTICAL DIRECTION. MAXIMUM REBAR SPACING IS 18" O.C. IN EACH DIRECTION.
4. PROVIDE A MINIMUM #4 BARS AT 12" ON CENTER IN ISOLATED FOOTINGS.
5. PROVIDE REINFORCING CHAIRS IN ACCORDANCE WITH CRSI PLACING MANUAL.
6. PROVIDE WWF 6X6X10X10 FOR 4" SLAB.
7. PROVIDE CONSTRUCTION JOINT AT 20' MAXIMUM UNLESS NOTED OTHERWISE (SAW CUT 25% OF SLAB THICKNESS).

NAILS:

USE COMMON NAIL ONLY. IF BOX OR OTHER TYPE OF NAILS ARE USED, SIZE ADJUSTMENTS ARE REQUIRED. PROVIDE NAIL PER IBC TABLE 2304.10.1 GALVANIZE NAIL WHEN EXPOSED TO WEATHER. SIMPSON ZMAX AND HOT DIPPED ZINC NAILS SHALL BE USED FOR ALL PRESSURE TREATED WOODS OTHER THAN CHROMATED COPPER ARSENATE AND SODIUM BORATE.

PREFABRICATED WOOD TRUSSES

PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOAD AND SUPERIMPOSED DEAD LOADS STATED IN THE GENERAL STRUCTURE NOTES OR AS LOCATED ON PLANS. BRIDGING SIZE AND SPACING SHALL BE BY TRUSS MANUFACTURER/TRUSS DESIGNER UNLESS NOTED OTHERWISE. CONTRACTOR SHALL SUBMIT A TRUSS SUBMITTAL PACKAGE AS DEFINED IN IBC SECTION 2303.4.1.4, INCLUDING, BUT NOT LIMITED TO, INDIVIDUAL TRUSS DESIGN DRAWINGS, TRUSS PLACEMENT DIAGRAM AND TRUSS MEMBER PERMANENT BRACING REQUIREMENTS. TRUSS DOCUMENTS SHALL BE SEALED BY A REGISTERED DESIGN PROFESSIONAL AS REQUIRED BY IBC SECTION 2303.4.1.3. CALCULATIONS AND SHOT DRAWINGS SHALL SHOW ANY SPECIAL DETAILS REQUIRED AT BEARING POINTS. ALL CONTRACTORS SHALL HAVE CURRENT I.C.C. APPROVAL.

CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMITED AS FOLLOWS: ROOF TOTAL LOAD MAXIMUM=L/240. ROOF LIVE LOAD MAXIMUM=L/360.

TRUSS TOP CHORD MATERIAL SHALL HAVE A SPECIFIC GRAVITY OF NOT LESS THAN 0.43.

MULTIPLE TRUSS MEMBERS SHALL BE FASTENED TOGETHER TO ALLOW TRANSFER OF SHEAR AND TENSION FORCES (MINIMUM 200 PLF) AT PLYWOOD SHEATHING JOINTS AND TO PREVENT CROSS GRAIN BENDING OF TOP CHORDS. ATTACHMENT SHALL BE A CONTINUOUS 20 GAGE METAL PLATE OR OTHER APPROVED MEANS. METHOD OF ATTACHMENT SHALL BE INDICATED ON SHOP DRAWINGS FOR REVIEW.

TRUSS MANUFACTURER SHALL HAVE I.C.C. APPROVAL OR BE AN APPROVED FABRICATOR ACCORDING TO THE BUILDING JURISDICTION. TRUSS MANUFACTURER SHALL PERMANENTLY IDENTIFY EACH TRUSS.

GLUE-LAMINATED BEAMS (GLULAM)

GLUED - LAMINATED BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb= 2400PSI, Fv= 265PSI, Fc (PERPENDICULAR)= 650 PSI, E= 1,800,000 PSI. CONTINUOUS BEAMS OR BEAMS CANTILEVERING OVER SUPPORTS SHALL HAVE THE SPECIFIED MINIMUM PROPERTIES TOP AND BOTTOM. ALL BEAMS SHALL BE FABRICATED USING WATERPROOF GLUE. FABRICATION AND HANDLING PER LATEST AITC AND WCLA STANDARDS. BEAM TO BEAR GRADE STAMP AND AITC STAMP AND CERTIFICATE. CAMBER AS SHOWN ON DRAWINGS. STRUCTURAL GLUED-LAMINATED TIMBER SHALL CONFORM TO AITC A190.1 AND ASTM D 3737.

WOOD:

LUMBER SHALL CONFORM TO DOC PS 20. MANUFACTURED LUMBER SHALL BE AS SPECIFIED ON THE PLAN SET. DESIGN OF THE MANUFACTURED LUMBER IS THE RESPONSIBILITY OF THE SUPPLIER.

Table with columns: JOISTS, BEAMS, LEDGERS AND TOP PLATES, STUDS, POSTS. Rows include 2X4, 2X6 OR LARGER, 4X4, 4X6 OR LARGER, 6X6 OR LARGER with corresponding H.F. #2 and D.F. #2 specifications.

CONNECTORS:

METAL CONNECTORS, ANCHORS, AND FASTENERS WILL CORRODE AND LOSE LOAD CARRYING CAPACITY WHEN INSTALLED IN CORROSIVE ENVIRONMENTS OR EXPOSED TO CORROSIVE MATERIALS. THERE ARE MANY ENVIRONMENTS AND MATERIALS WHICH MAY CAUSE CORROSION INCLUDING: OCEAN SALT WATER, PRESERVATIVE-TREATED WOOD, FUMES, FIRE-RETARDANTS, DISSIMILAR METALS, FERTILIZERS.

PLYWOOD

ALL PLYWOOD SHALL BE AMERICAN PLYWOOD ASSOCIATION CDX-RATED SHEATHING OR BETTER, AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY. LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS (ON ROOFS WHERE PLYWOOD IS LAID UP WITH FACE GRAIN PARALLEL TO SUPPORTS, USE MINIMUM OF 5-PLY PLYWOOD). STAGGER JOINTS. ALL NAILING SHALL BE WITH COMMON NAILS. WHERE SCREWS ARE INDICATED FOR WOOD-TO-WOOD ATTACHMENTS, USE WOOD SCREWS MEETING THE REQUIREMENTS OF A.S.I./A.S.M.E. B18-1 OF GRADE ASTM A384, GRADE 1013 TO 1022 STEEL (FY=193,600PSI). HORIZONTAL DIAPHRAGM AND SHEARWALL CAPACITIES SHALL BE PER THE LATEST EDITION OF I.C.C. REPOST ESR-1539. ALL PLYWOOD SHALL BE OF THE FOLLOWING NORMAL THICKNESS, SHALL HAVE THE FOLLOWING SPAN/INDEX RATIO, AND SHALL BE ATTACHED AS FOLLOWS, UNLESS OTHERWISE NOTED.

Table with columns: USE, THICKNESS, SPAN/INDEX RATIO, EDGE ATTACHMENT, INTERMEDIATE ATTACHMENT. Rows include ROOF, FLOOR, SHEAR WALL with specific nail and screw requirements.

SCREWS AT FLOOR SHEATHING SHALL BE #8 x 2" LONG FOR SHEATHING LESS THAN 1" NORMAL THICKNESS, AND SHALL HAVE CURRENT I.C.C. APPROVAL AS A REPLACEMENT FOR 10d NAILS IN WOOD PANEL DIAPHRAGMS. SCREWS PER I.C.C. ER-5280 OR APPROVAL EQUAL. ALL FLOOR SHEATHING SHALL BE GLUED TO SUPPORT MEMBERS WITH AN A.P.A. AFG-01 OR ASTM D3498 QUALIFIED GLUE IN ACCORDANCE WITH A.P.A. FORM E30.

ALTERNATE SHEATHING

AMERICAN PLYWOOD ASSOCIATION PERFORMANCE RATED SHEATHING MAY BE USED AS AN ALTERNATE TO PLYWOOD WITH PRIOR APPROVAL OF OWNER, ARCHITECT AND ROOFING CONTRACTOR. RATED SHEATHING SHALL COMPLY WITH I.C.C. ESR-1301, EXPOSURE 1, AND SHALL HAVE A SPAN RATING AND SHEAR VALUE EQUIVALENT TO OR BETTER THAN THE PLYWOOD IT REPLACES. ATTACHMENT AND THICKNESS (WITHIN 1/2") SHALL BE THE SAME AS THE PLYWOOD IT REPLACES. INSTALL PLYWOOD PER MANUFACTURES RECOMMENDATIONS.

PROTECTION AGAINST DECAY (2304.11):

PRESERVATIVE-TREATED WOOD SHALL CONFORM TO APPLICABLE AWPA STANDARDS. TRUSSES, TRUSS DRAWINGS AND TRUSS ENGINEERING SHALL BE PROVIDED BY THE MANUFACTURER. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WITHOUT JOISTS SHALL NOT BE CLOSER THAN 18 INCHES, OR WOOD GIRDERS CLOSER THAN 12 INCHES TO THE EXPOSED GROUND IN CRAWL SPACES. WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, WHICH REST ON EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 8 INCHES FROM EXPOSED EARTH. SILLS IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE-TREATED WOOD CLEARANCE BETWEEN WOOD SIDING AND EARTH SHALL NOT BE LESS THAN 6 INCHES. POSTS SHALL BE PRESERVATIVE-TREATED UNLESS SUPPORTED BY A PEDESTAL GREATER THAN 8 INCHES FROM EXPOSED GROUND. AS A MINIMUM CONTRACTORS SHALL USE SIMPSON ZMAX GALVANIZED FASTENERS OR AN APPROVED BARRIER WHEN A CORROSIVE ENVIRONMENT EXISTS.

SHOP DRAWINGS

SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS IN ADDITION TO ITEMS REQUIRED BY ARCHITECTURAL SPECIFICATIONS.

THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTAL. ITEMS ARE NOT IN ACCORDANCE WITH CONTRACT DOCUMENTS SHALL BE FLAGGED UPON CONTRACTOR'S REVIEW.

VERIFY ALL DIMENSIONS WITH ARCHITECT

ANY CHANGES, SUBSTITUTIONS, OR DRAWINGS FROM CONTRACT DOCUMENTS SHALL BE CLOUDED BY MANUFACTURER OR FABRICATOR. ANY OF THE AFOREMENTIONED WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTING PARTIES SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW, UNLESS NOTED ACCORDINGLY.

THE ENGINEER HAS THE RIGHT TO APPROVE OR DISAPPROVE ANY CHANGES TO CONTRACT DOCUMENTS AT ANY TIME BEFORE OR AFTER SHOP DRAWING REVIEW.

THE SHOP DRAWINGS DO NOT REPLACE THE CONTRACT DOCUMENTS. ITEMS OMITTED OR SHOWN INCORRECTLY AND NOT FLAGGED BY THE STRUCTURAL ENGINEER OR ARCHITECT SHALL NOT BE CONSIDERED CHANGES TO CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE ITEMS ITEMS ARE CONSTRUCTED TO CONTRACT DOCUMENTS.

THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR SUBMITTING AUTHORITY.

REVIEW BY THE E.O.R. IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE CONTRACTOR.

ABBREVIATIONS

- A.B.CAGGREGATE BASE COURSE
A.F.FABOVE FINISHED FLOOR
ALTALTERNATE
A.BANCHOR BOLT
BMBEAM
B.F.FBELOW FINISHED FLOOR
B.O.BBOTTOM OF BEAM
B.O.DBOTTOM OF DECK
B.O.FBOTTOM OF FOOTING
B.O.PBOTTOM OF PLATE
B.O.SBOTTOM OF STEEL
B.R.GBEARING
C.I.PCAST-IN-PLACE
C.LCENTERLINE
C.L.BCENTERLINE OF BEAM
C.L.CCENTERLINE OF COLUMN
C.L.FCENTERLINE OF FOOTING
C.L.WCENTER LINE OF WALL
CLRCLEAR
CONCCONCRETE
CONC. C.JCONCRETE CONTROL JOINT
CONC. S.JCONCRETE SAWCUT JOINT
C.M.UCONCRETE MASONRY UNIT
CONNCONNECTION
CONTCONTINUOUS
D.LDEAD LOAD
DIADIAMETER
DNDOWN
DWG(S)DRAWING(S)
E.O.SEDGE OF SLAB
ELELEVATION
EQEQUAL
EQUIPEQUIPMENT
EXPEXPANSION BOLT
EXP. JT. (E.J.)EXPANSION JOINT
E.WEACH WAY
F.FFINISHED FLOOR
F.O.MFACE OF MEMBER
F.O.SFACE OF STEEL
F.O.WFACE OF WALL
GAGAUGE
GALVGALVANIZED
GLB (GLULAM)GLUE-LAMINATED BEAM
H.CHORIZONTAL
HORIZHORIZONTAL
I.F.WINSIDE FACE OF WALL
I.EINVERT ELEVATION
K (KIP)1000 POUNDS
L.LLIVE LOAD
LBS (#)POUNDS
L.L.HLONG LEG HORIZONTAL
L.L.VLONG LEG VERTICAL
MFR(S)MANUFACTURE(S)
MAS. C.JMASONRY CONTROL JOINT
MECH'LMECHANICAL
N/ANOT APPLICABLE
N.T.SNOT TO SCALE
O.CON CENTER
O.FOUTSIDE FACE OF WALL
OPPOPPOSITE
P.CPRE CAST CONCRETE
P.L.FPOUNDS PER LINEAR FOOT
PREFABPREFABRICATED
P.S.FPOUNDS PER SQUARE FOOT
P.S.IPOUNDS PER SQUARE INCH
REINFREINFORCING
S.L.HSHORT LEG HORIZONTAL
S.L.VSHORT LEG VERTICAL
SIMSIMILAR
SQSQUARE
STDSTANDARD
T.LTOTAL LENGTH
T.O.BTOP OF BEAM
T.O.DTOP OF DECK
T.O.FTOP OF FOOTING
T.O.GTOP OF GRADE
T.O.LTOP OF LEDGER
T.O.MTOP OF MASONRY
T.O.PTOP OF PLATE
T.O.STOP OF STEEL
T.O.WTOP OF WALL
TYPTYPICAL
U.N.OUNLESS NOTED OTHERWISE
VERTVERTICAL
WTSPWATERSTOP
W.W.RWELDED WIRE REINFORCEMENT

Table with columns: SPLICE LENGTH, #3, #4, #5, #6, #7, #8. Includes a diagram of a splice.

Table with columns: HOOK LENGTH, HOOK TYPE, #3, #4, #5, #6, #7, #8. Includes diagrams for 90, 135, and 180 degree hooks.

Table with columns: MARK, MINIMUM SHEATHING, EDGE NAILING, FIELD NAILING, SOLE PLATE NAILING, SILL PLATE CONN. & FND. Includes various nail and plate specifications.

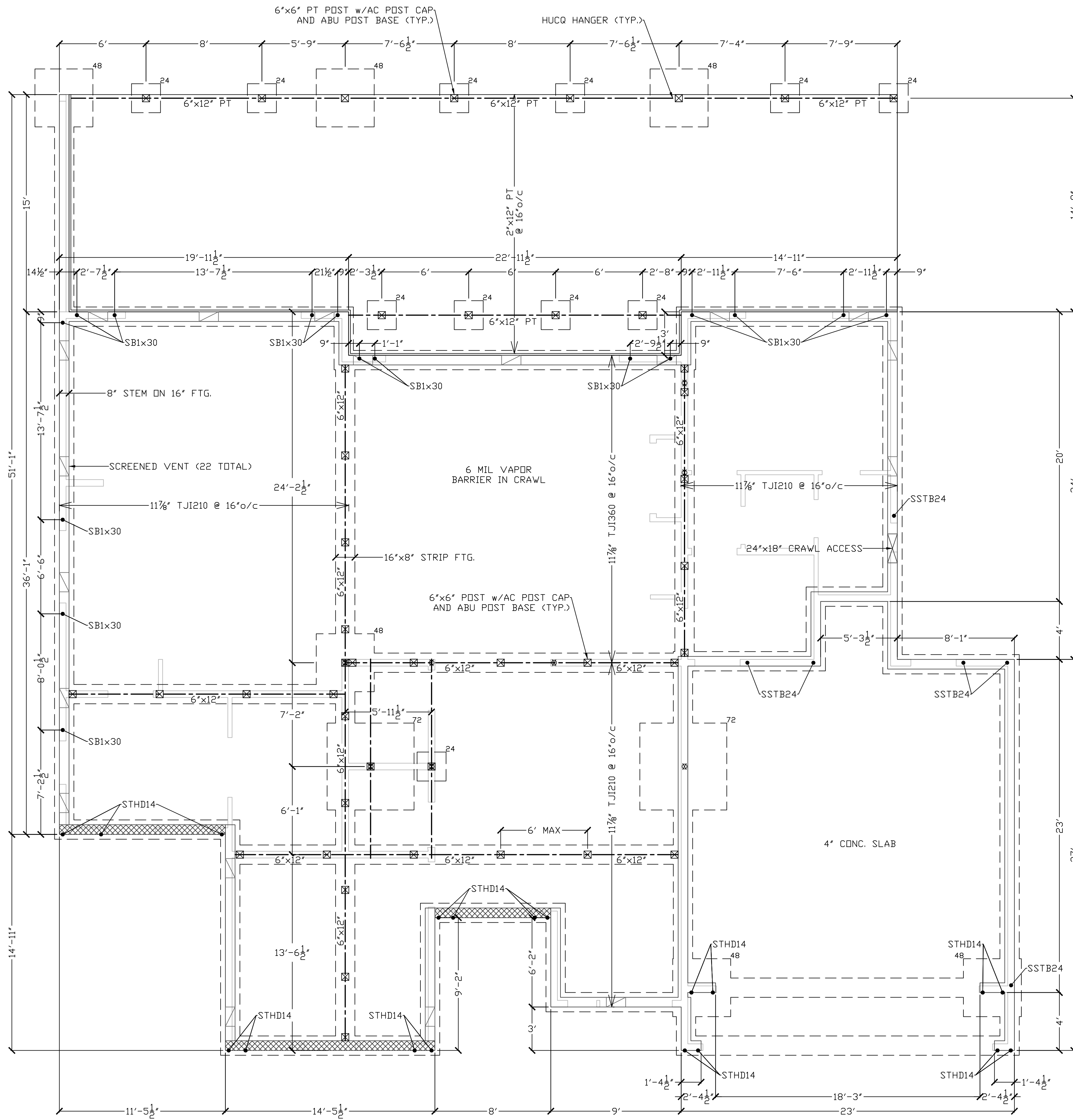
- SHEARWALL NOTES:
1. ALL STUDS AND BLOCKING SHALL BE HF#2 ALL TOP AND BOTTOM PLATES SHALL BE HF#2. ALL SHEATHING EDGES SHALL BE BACKED WITH 2x OR WIDER FRAMING UNLESS OTHERWISE NOTED (SEE NOTE#2). SHEATHING MAY BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY.
2. WHERE SHEATHING NAILING IS A Δ OR GREATER, FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3-INCH NOMINAL MEMBER AND SILL PLATES NOT BE LESS THAN A SINGLE 3-INCH NOMINAL MEMBER.
3. NAILING CRITERIA IS BASED ON IBC 2306.3 AND AF&PA SPOUS TABLE 4.3A FOR CD PLYWOOD AND HF#2 FRAMING WIRE STAPLES MAY BE SUBSTITUTED AS OUTLINED IN THE STRUCTURAL NOTES. OTHER SUBSTITUTIONS MUST BE VERIFIED IN WRITING BY THE STRL. ENGINEER.
4. HOLD-DOWNS AND OTHER CONNECTIONS MAY BE REQUIRED AT THE ENDS OF MANY SHEARWALLS. SIZES AND LOCATIONS OF THESE CONNECTORS ARE INDICATED ON THE PLANS. REFER TO THE APPROPRIATE CONNECTOR DETAILS FOR ADDITIONAL INFORMATION REGARDING ANCHOR BOLTS, EMBEDMENT LENGTH, ETC.
5. ANCHOR BOLTS MUST BE EMBEDDED INTO CONCRETE OR GROUTED CMU A MINIMUM OF 7", AND SHALL BE PLACED TO PROVIDE A MINIMUM OF 2" GROUTED CLEAR TO THE FACE OF FORMED CONCRETE (PROVIDED 3" CLEAR FOR CONCRETE CAST AGAINST SOIL).
6. EDGE OF ANCHOR BOLT WASHER SHALL BE WITHIN 1/2" OF SHEAR WALL SHEATHING

Table with columns: REVISIONS, NO, DATE, BY, DESCRIPTION, NO, DATE, BY, DATE. Includes a section for FOR:.

Russell Palanchuk
Structural Notes
9734 SE 40th Street
Mercer Island, WA 98040



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Engineering, Planning and Surveying
(360) 896-2350 or (360) 876-2284
2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366



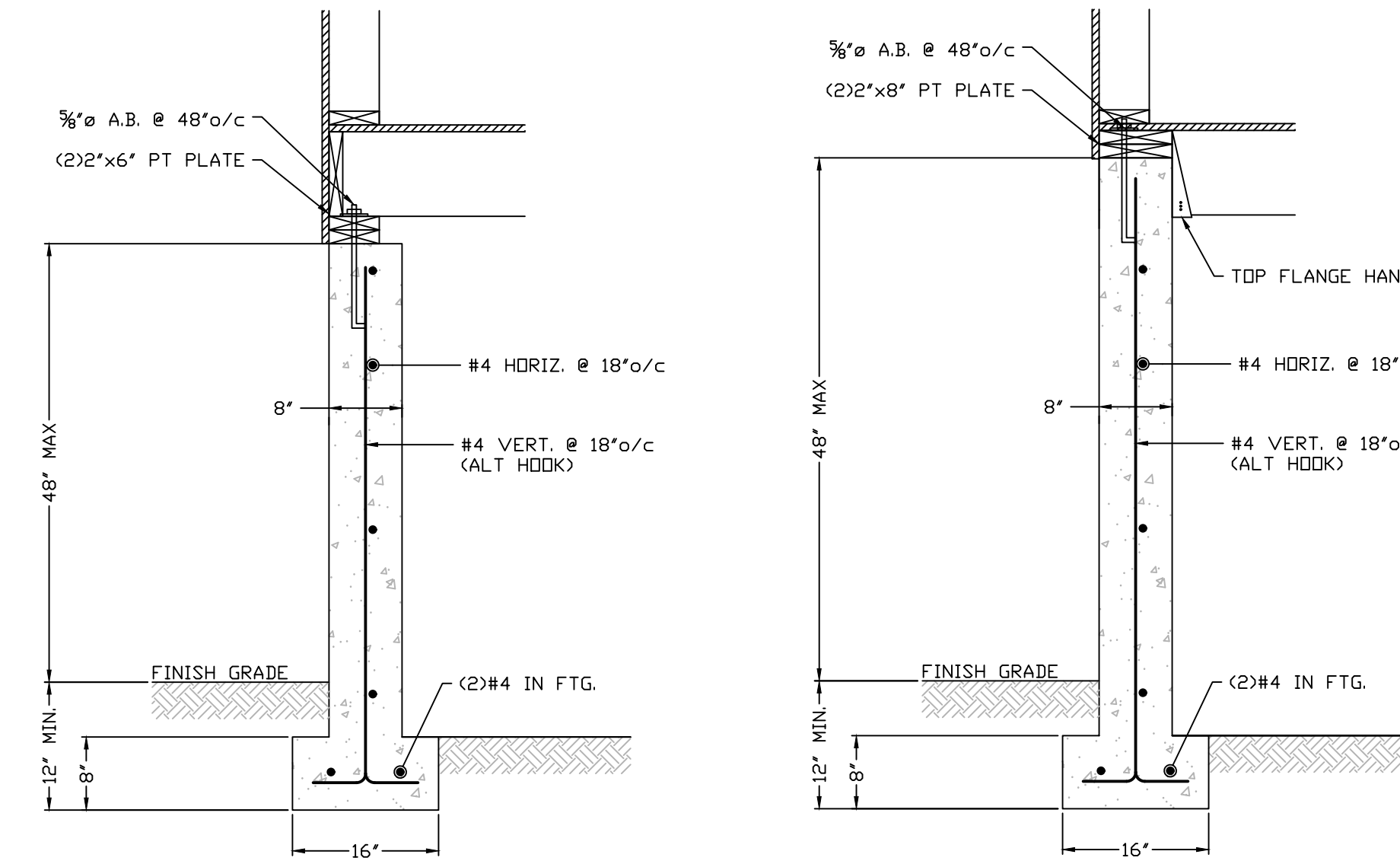
FOUNDATION PLAN

1/4"=1'-0"

FOOTING SCHEDULE		
24	24"x24"x12"	(3)#4 E.W
36	36"x36"x12"	(6)#4 E.W
48	48"x48"x12"	(8)#4 E.W
72	72"x72"x12"	(12)#4 E.W

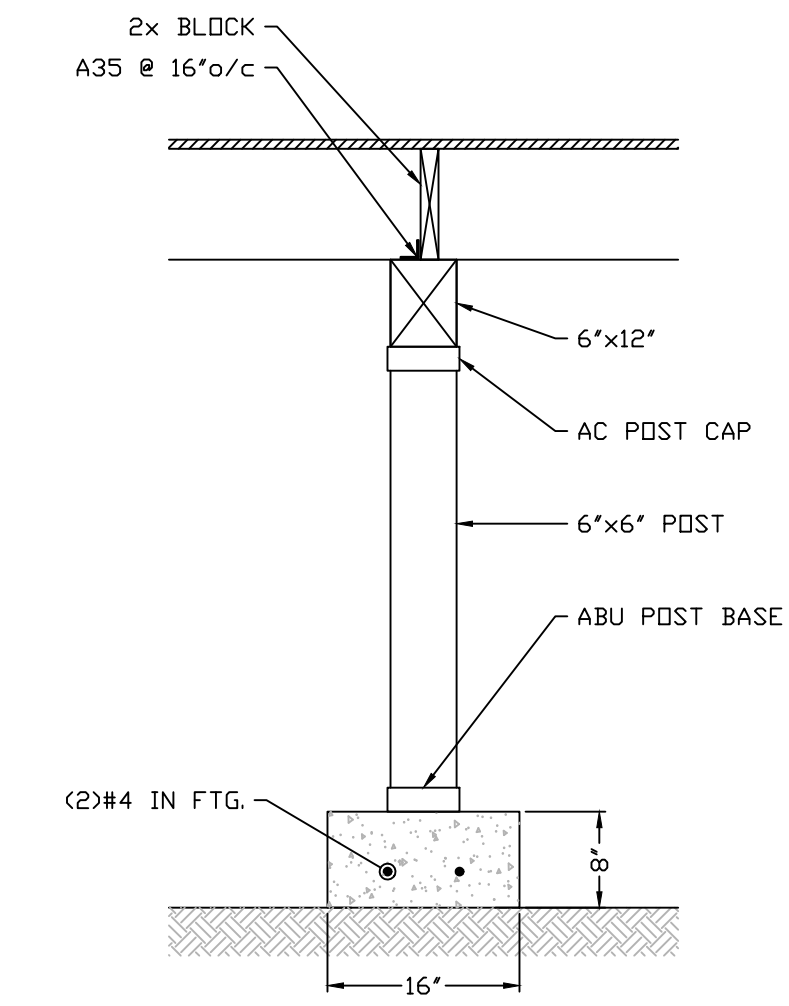
NOTES:
 • 3/8" ANCHORS @ 48" o/c U.N.O

▨ FLUSH FLOOR FRAMING (SEE DETAIL 2/S2)

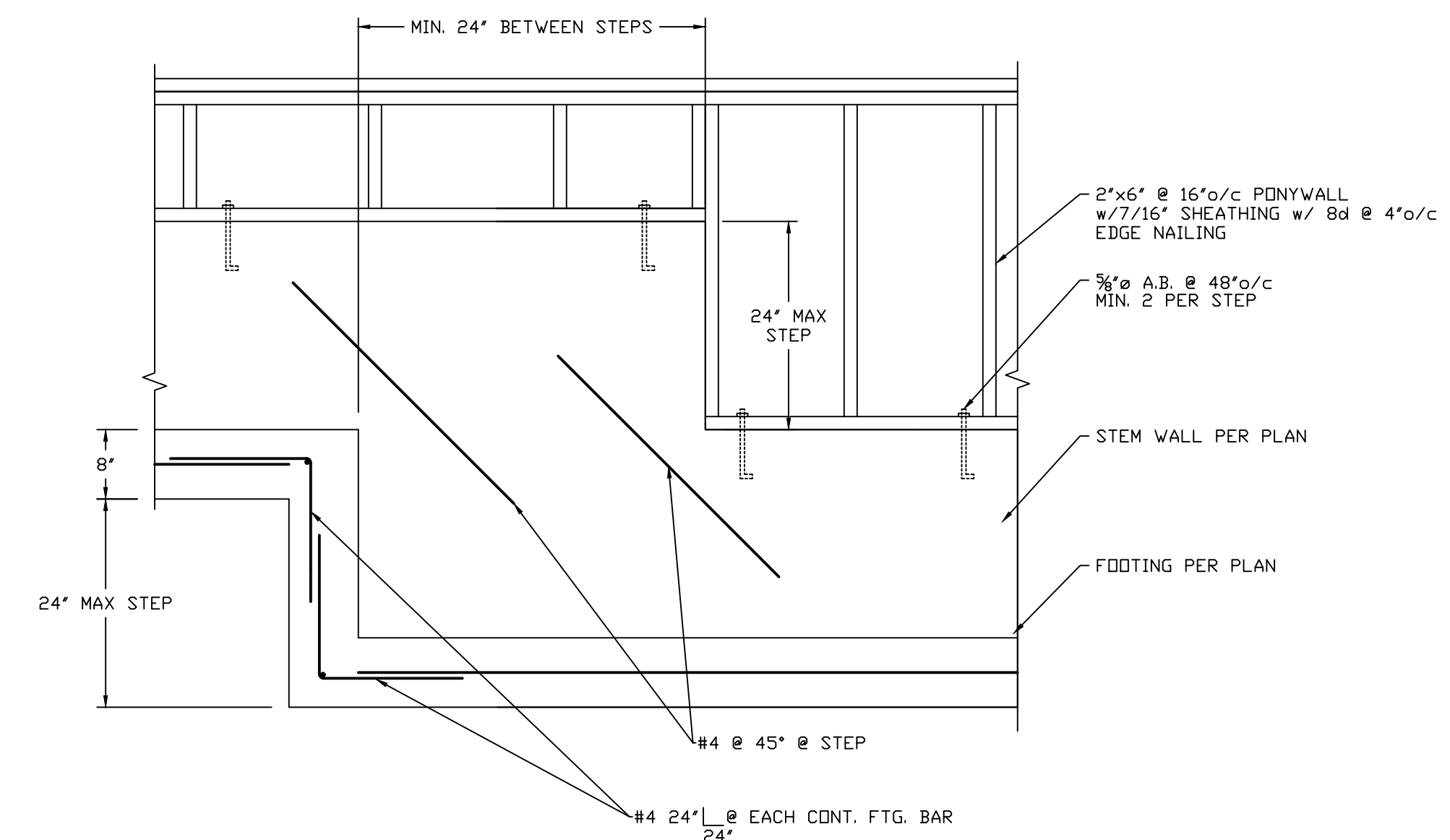


1-TYPICAL FOUNDATION WALL

2-FOUNDATION WALL w/ FLUSH FLOOR FRAMING



3-INTERIOR STRIP FTG. NTS



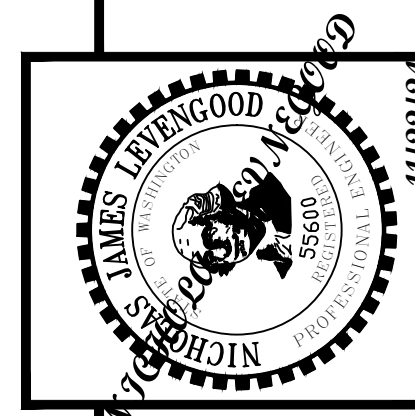
4-TYP. FOOTING/STEMWALL STEP

NO	DATE	BY	REVISIONS	
			DESCRIPTION	DATE
DESIGNED	NL	11/24		
DRAWN	NL	11/24		
CHECKED	NL	11/24		
APPROVED				
ACCEPTED				

Russell Palanchuk

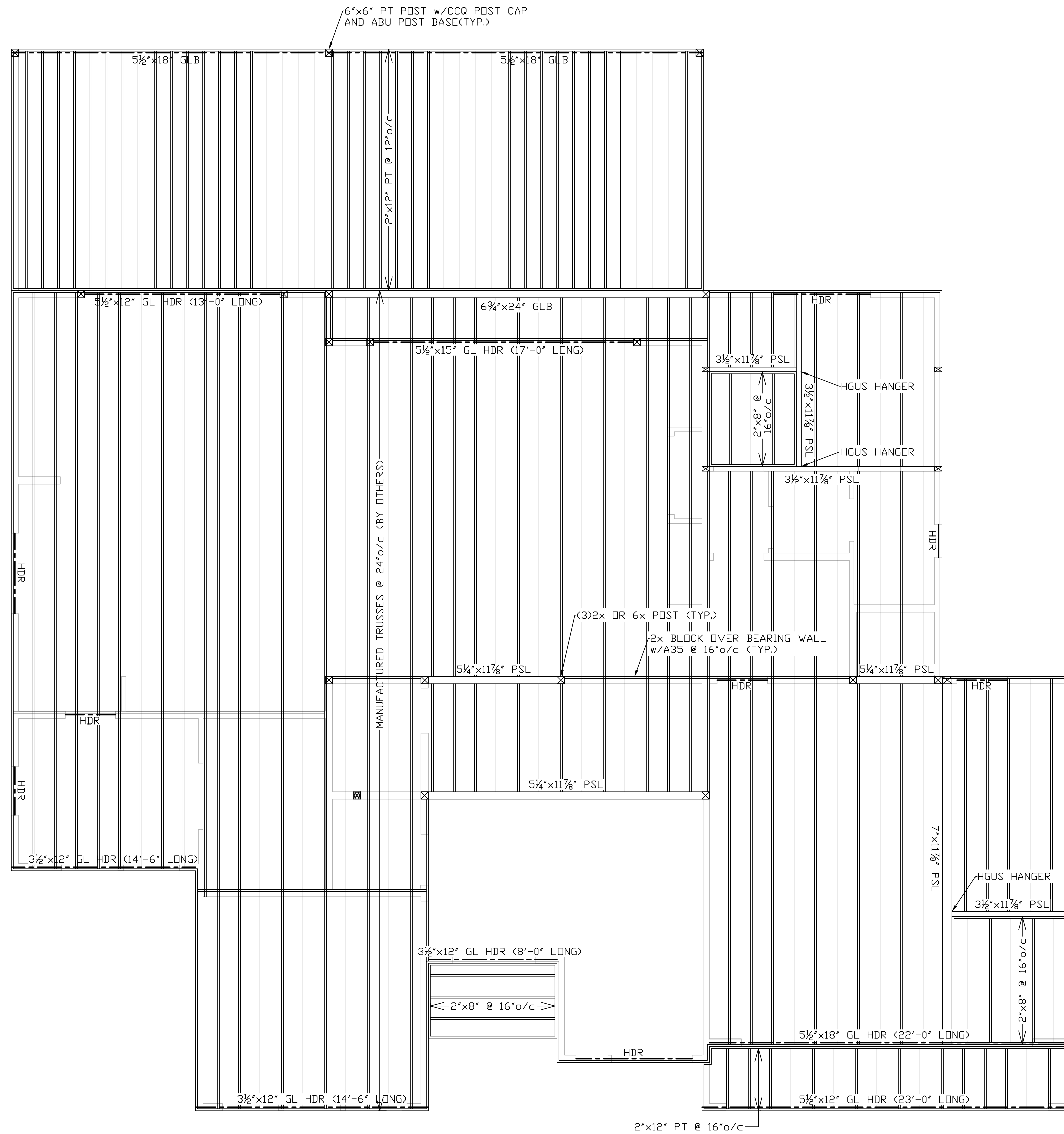
FOR:

Foundation Plan
 9734 SE 40th Street
 Mercer Island, WA 98040



N.L. Olson & Associates, Inc.
 Engineering, Planning and Surveying
 (360) 895-2350 or (360) 876-2284
 2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

SCALE: AS SHOWN
 DATE: Nov. 2024
 DRAWING NUMBER
13320
 SHEET **S2**



SECOND FLOOR FRAMING

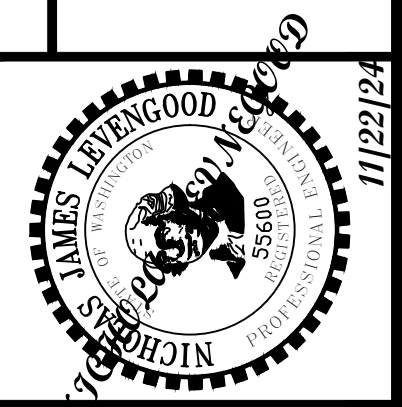
1/4"=1'-0"

- NOTES:
- ALL WINDOW/DOOR HDR TO BE 4"x12" HF#2 U.N.O
 - ALL WINDOW/DOOR HDR JACK STUDS TO BE (1)2x U.N.O
 - FLOOR JOISTS TO USE IUS HANGERS
 - DECK JOISTS TO USE LUS HANGERS

REVISIONS		BY	DATE
NO	DESCRIPTION	NIL	11/24
		DRAWN	NIL
		CHECKED	NIL
		APPROVED	NIL
		ACCEPTED	

FOR: **Russell Palanchuk**

Second Floor Framing Plan
 9734 SE 40th Street
 Mercer Island, WA 98040

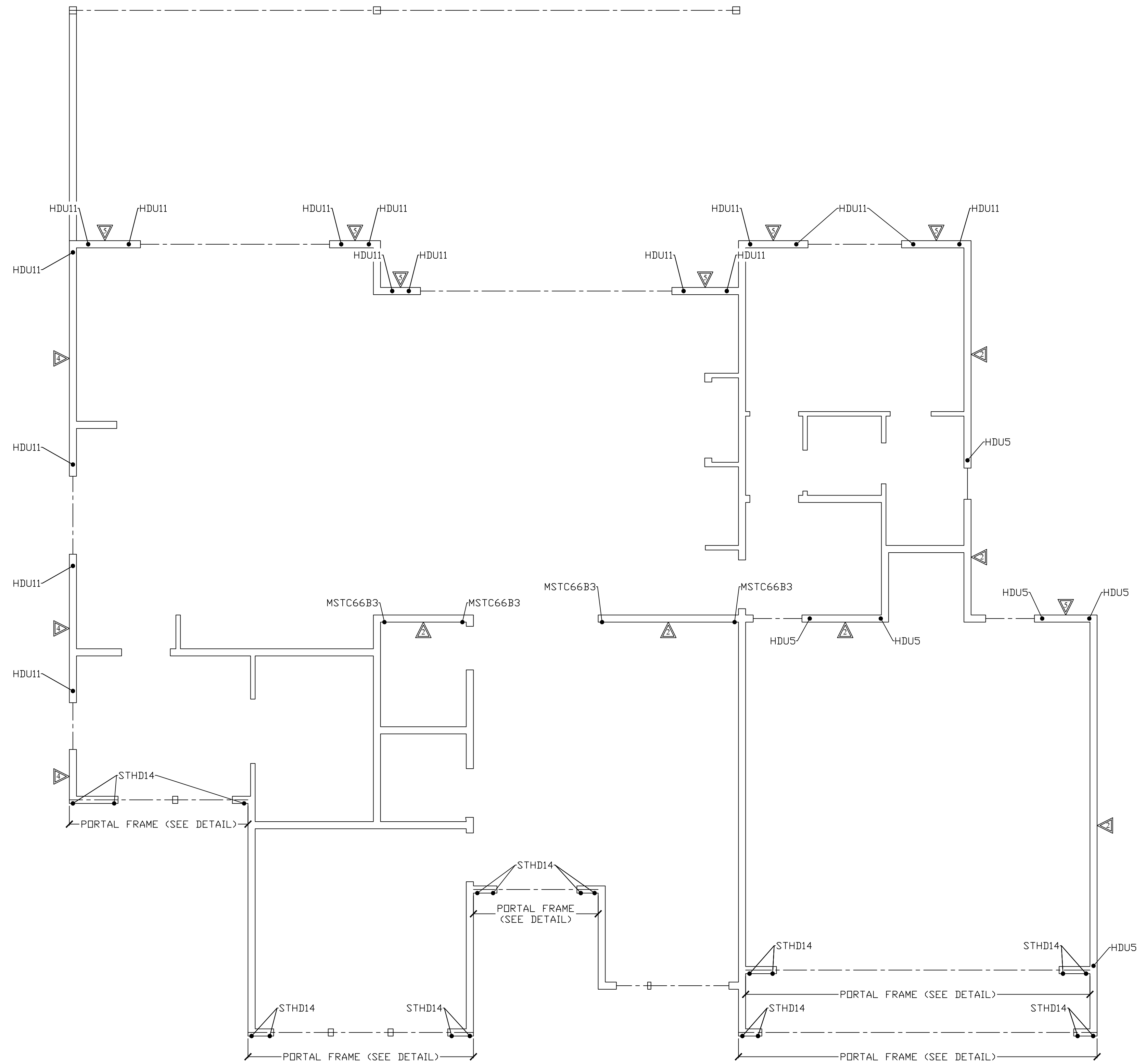
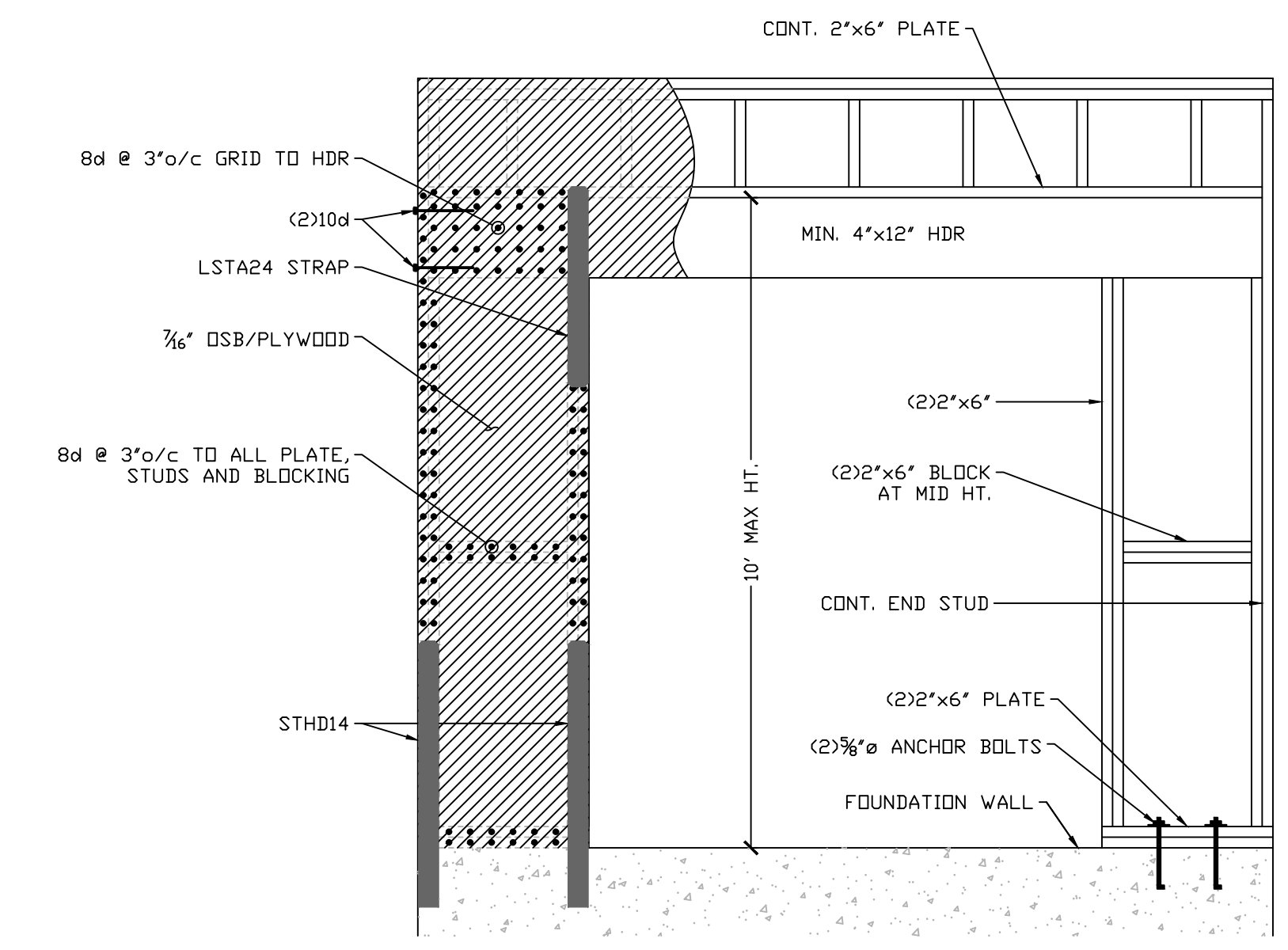


N.L. Olson & Associates, Inc.
 Engineering, Planning and Surveying
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 2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

SCALE:	AS SHOWN
DATE:	Nov. 2024
DRAWING NUMBER	13320
SHEET	S3

SHEARWALL SCHEDULE					
MARK	MINIMUM SHEATHING	EDGE NAILING	FIELD NAILING	SOLE PLATE NAILING	SILL PLATE CONN. @ FND
△	7/16" CDX ONE FACE	8d @ 6" o.c.	8d @ 12" o.c.	(2)16d @ 16" o/c	5/8" dia. @ 48" o.c. w/ 2x BTM. PLATE
△	7/16" CDX ONE FACE	8d @ 4" o.c.	8d @ 12" o.c.	(2)16d @ 12" o/c	5/8" dia. @ 36" o.c. w/ 2x BTM. PLATE
△	7/16" CDX ONE FACE	8d @ 3" o.c.	8d @ 12" o.c.	(2)16d @ 8" o/c	5/8" dia. @ 30" o.c. w/ 3x BTM. PLATE
△	19/32" CDX ONE FACE	10d @ 3" o.c.	10d @ 12" o.c.	(2)16d @ 6" o/c	5/8" dia. @ 18" o.c. w/ 3x BTM. PLATE
△	19/32" CDX ONE FACE	10d @ 2" o.c.	10d @ 12" o.c.	(2)16d @ 4" o/c	5/8" dia. @ 12" o.c. w/ 3x BTM. PLATE

- SHEARWALL NOTES:**
- ALL STUDS AND BLOCKING SHALL BE HF#2 ALL TOP AND BOTTOM PLATES SHALL BE HF#2. ALL SHEATHING EDGES SHALL BE BACKED WITH 2x OR WIDER FRAMING UNLESS OTHERWISE NOTED (SEE NOTE#2). SHEATHING MAY BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY.
 - WHERE SHEATHING NAILING IS A △ OR GREATER, FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3-INCH NOMINAL MEMBER AND SILL PLATES NOT BE LESS THAN A SINGLE 3-INCH NOMINAL MEMBER.
 - NAILING CRITERIA IS BASED ON IBC 2306.3 AND AFAPA SPPV'S TABLE 4.3A FOR CD PLYWOOD AND HF#2 FRAMING. WIRE STAPLES MAY BE SUBSTITUTED AS OUTLINED IN THE STRUCTURAL NOTES. OTHER SUBSTITUTIONS MUST BE VERIFIED IN WRITING BY THE STRL. ENGINEER.
 - HOLD-DOWNS AND OTHER CONNECTIONS MAY BE REQUIRED AT THE ENDS OF MANY SHEARWALLS. SIZES AND LOCATIONS OF THESE CONNECTORS ARE INDICATED ON THE PLANS. REFER TO THE APPROPRIATE CONNECTOR DETAILS FOR ADDITIONAL INFORMATION REGARDING ANCHOR BOLTS, EMBEDMENT LENGTH, ETC.
 - ANCHOR BOLTS MUST BE EMBEDDED INTO CONCRETE OR GRouted CMU A MINIMUM OF 7" AND SHALL BE PLACED TO PROVIDE A MINIMUM OF 2" GRouted CLEAR TO THE FACE OF FORMED CONCRETE (PROVIDED 3" CLEAR FOR CONCRETE CAST AGAINST SOIL).
 - EDGE OF ANCHOR BOLT WASHER SHALL BE WITHIN 1/2" OF SHEAR WALL SHEATHING



FIRST FLOOR SHEARWALLS

1/4"=1'-0"

- NOTES:**
- STHD STRAPS TO ATTACH TO MIN. (2)2x POST
 - HDU5 TO ATTACH TO MIN. (2)2x POST
 - HDU8 TO ATTACH TO MIN. (3)2x POST
 - HDU11 TO ATTACH TO MIN. (4)2x POST

NO	DATE	BY	DESCRIPTION	REVISIONS		
				DESIGNED	CHECKED	APPROVED

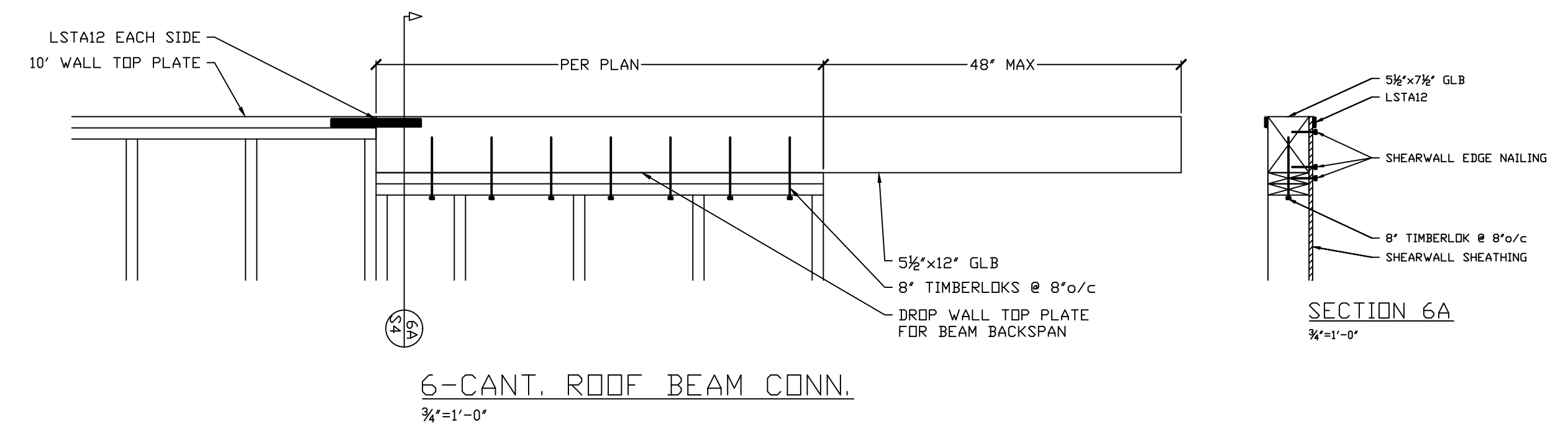
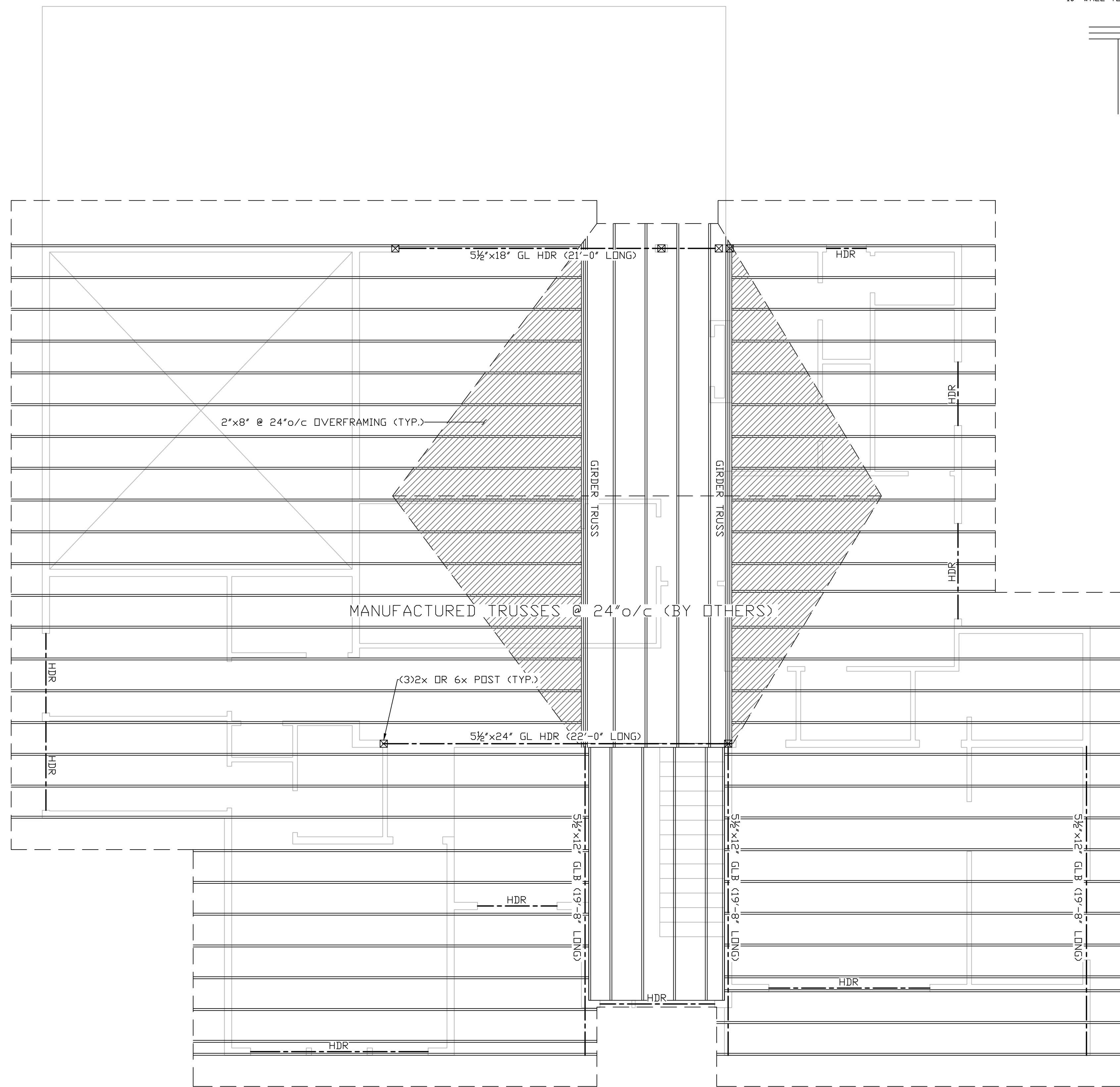
FOR: **Russell Palanchuk**

First Floor Shearwall Plan
 9734 SE 40th Street
 Mercer Island, WA 98040



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SCALE: AS SHOWN
 DATE: Nov. 2024
 DRAWING NUMBER
13320
 SHEET **S3.1**



1/4"=1'-0"

ROOF FRAMING

- NOTES:
- ALL WINDOW/DOOR HDR TO BE 4"x12" HF#2 U.N.O
 - ALL WINDOW/DOOR HDR JACK STUDS TO BE (1)2x U.N.O
 - TRUSS HANGERS PER MANUFACTURER

REVISIONS		NO	DATE	BY	DATE
DESIGNED	NL	11/24			
DRAWN	NL	11/24			
CHECKED	NL	11/24			
APPROVED					
ACCEPTED					

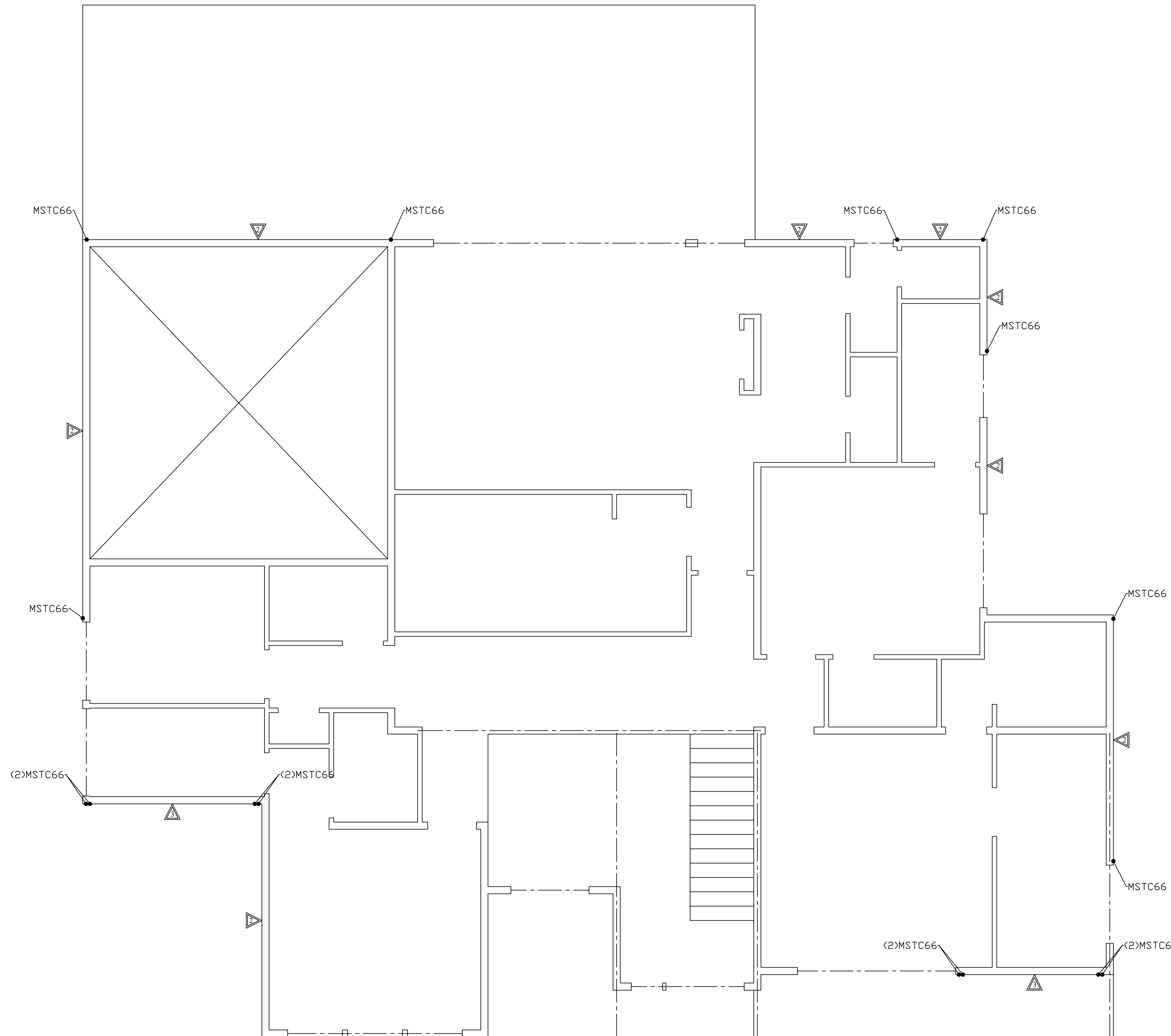
FOR:
Russell Palanchuk

Roof Framing Plan
9734 SE 40th Street
Mercer Island, WA 98040



N.L. Olson & Associates, Inc.
Engineering, Planning and Surveying
(360) 895-2350 or (360) 876-2284
2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

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DATE:	Nov. 2024
DRAWING NUMBER	13320
SHEET	S4



SECOND FLOOR SHEARWALLS

1/4"=1'-0"

- NOTES:
- MSTC STRAPS TO ATTACH TO MIN. (2)2x POST

SHEARWALL SCHEDULE					
MARK	MINIMUM SHEATHING	EDGE NAILING	FIELD NAILING	SOLE PLATE NAILING	SILL PLATE CONN. @ END
△	7/16" CDX ONE FACE	8d @ 6" o.c.	8d @ 12" o.c.	(2)16d @ 16" o/c	5/8" dia. @ 48" o.c. w/ 2x BTM. PLATE
△	7/16" CDX ONE FACE	8d @ 4" o.c.	8d @ 12" o.c.	(2)16d @ 12" o/c	5/8" dia. @ 36" o.c. w/ 2x BTM. PLATE
△	7/16" CDX ONE FACE	8d @ 3" o.c.	8d @ 12" o.c.	(2)16d @ 8" o/c	5/8" dia. @ 30" o.c. w/ 3x BTM. PLATE
△	19/32" CDX ONE FACE	10d @ 3" o.c.	10d @ 12" o.c.	(2)16d @ 6" o/c	5/8" dia. @ 18" o.c. w/ 3x BTM. PLATE
△	19/32" CDX ONE FACE	10d @ 2" o.c.	10d @ 12" o.c.	(2)16d @ 4" o/c	5/8" dia. @ 12" o.c. w/ 3x BTM. PLATE

- SHEARWALL NOTES:**
- ALL STUDS AND BLOCKING SHALL BE HF#2 ALL TOP AND BOTTOM PLATES SHALL BE HF#2. ALL SHEATHING EDGES SHALL BE BACKED WITH 2x OR WIDER FRAMING UNLESS OTHERWISE NOTED (SEE NOTE#2). SHEATHING MAY BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY.
 - WHERE SHEATHING NAILING IS A △ OR GREATER, FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3-INCH NOMINAL MEMBER AND SILL PLATES NOT BE LESS THAN A SINGLE 3-INCH NOMINAL MEMBER.
 - NAILING CRITERIA IS BASED ON IBC 2306.3 AND AF&PA SP18'S TABLE 4.3A FOR CD PLYWOOD AND HF#2 FRAMING. WIRE STAPLES MAY BE SUBSTITUTED AS OUTLINED IN THE STRUCTURAL NOTES. OTHER SUBSTITUTIONS MUST BE VERIFIED IN WRITING BY THE STRL. ENGINEER.
 - HOLD-DOWNS AND OTHER CONNECTIONS MAY BE REQUIRED AT THE ENDS OF MANY SHEARWALLS. SIZES AND LOCATIONS OF THESE CONNECTORS ARE INDICATED ON THE PLANS. REFER TO THE APPROPRIATE CONNECTOR DETAILS FOR ADDITIONAL INFORMATION REGARDING ANCHOR BOLTS, EMBEDMENT LENGTH, ETC.
 - ANCHOR BOLTS MUST BE EMBEDDED INTO CONCRETE OR GRouted CMU A MINIMUM OF 7" AND SHALL BE PLACED TO PROVIDE A MINIMUM OF 2" GRouted CLEAR TO THE FACE OF FORMED CONCRETE (PROVIDED 3" CLEAR FOR CONCRETE CAST AGAINST SOIL).
 - EDGE OF ANCHOR BOLT WASHER SHALL BE WITHIN 1/2" OF SHEAR WALL SHEATHING

NO	DATE	BY	REVISIONS			
			DESCRIPTION	DESIGNED	DRAWN	CHECKED

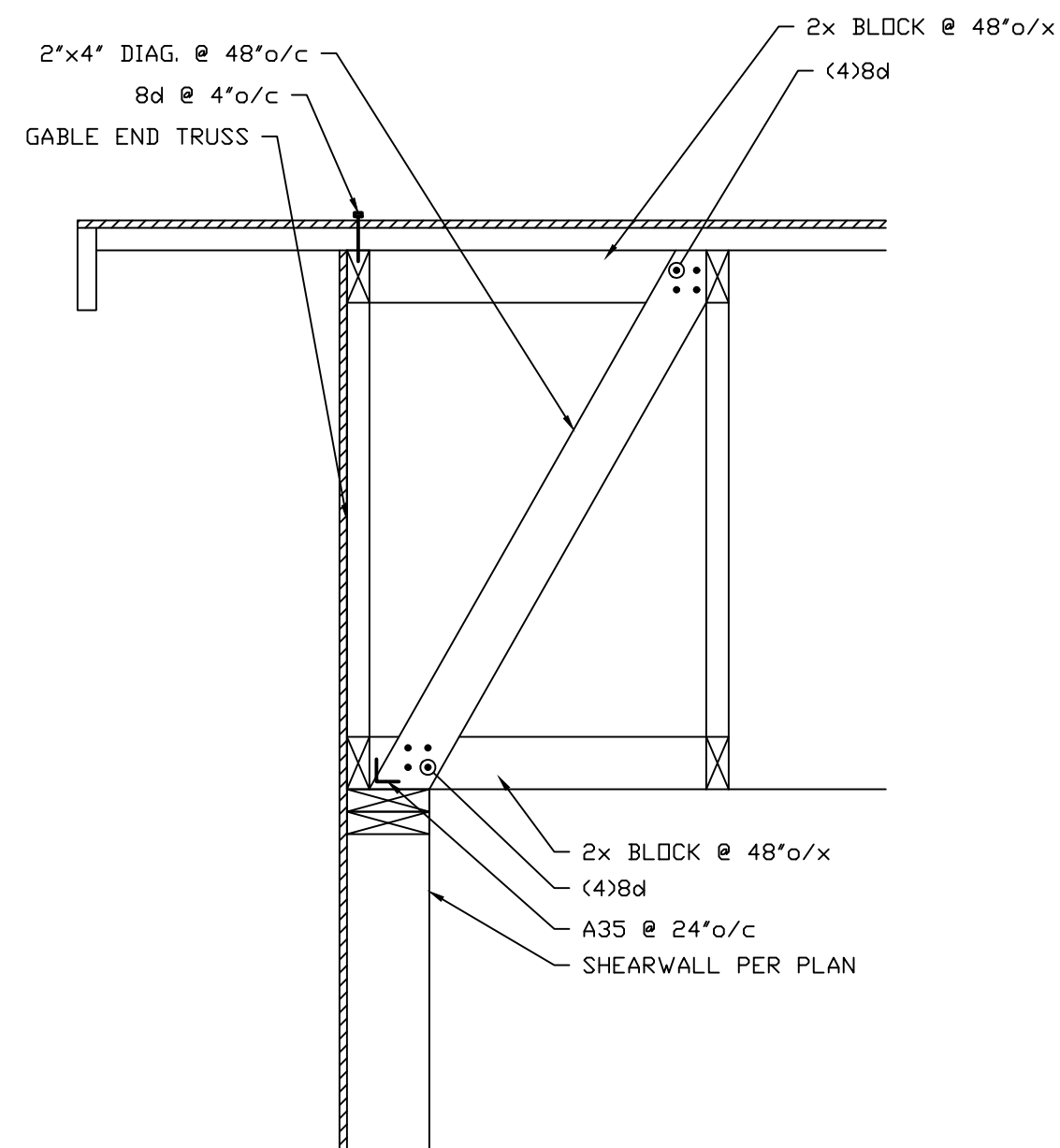
FOR: **Russell Palanchuk**

Second Floor Shearwall Plan
 9734 SE 40th Street
 Mercer Island, WA 98040

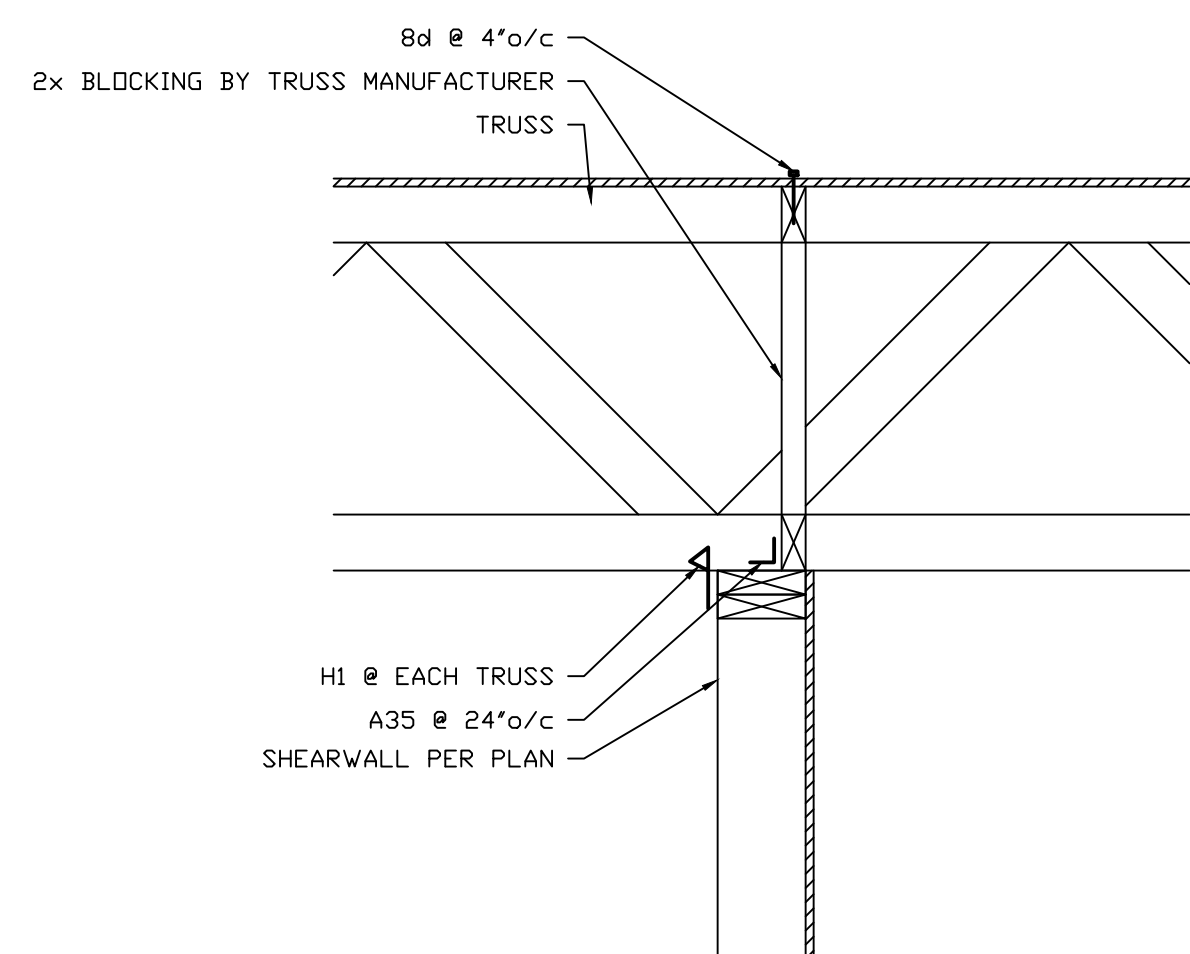


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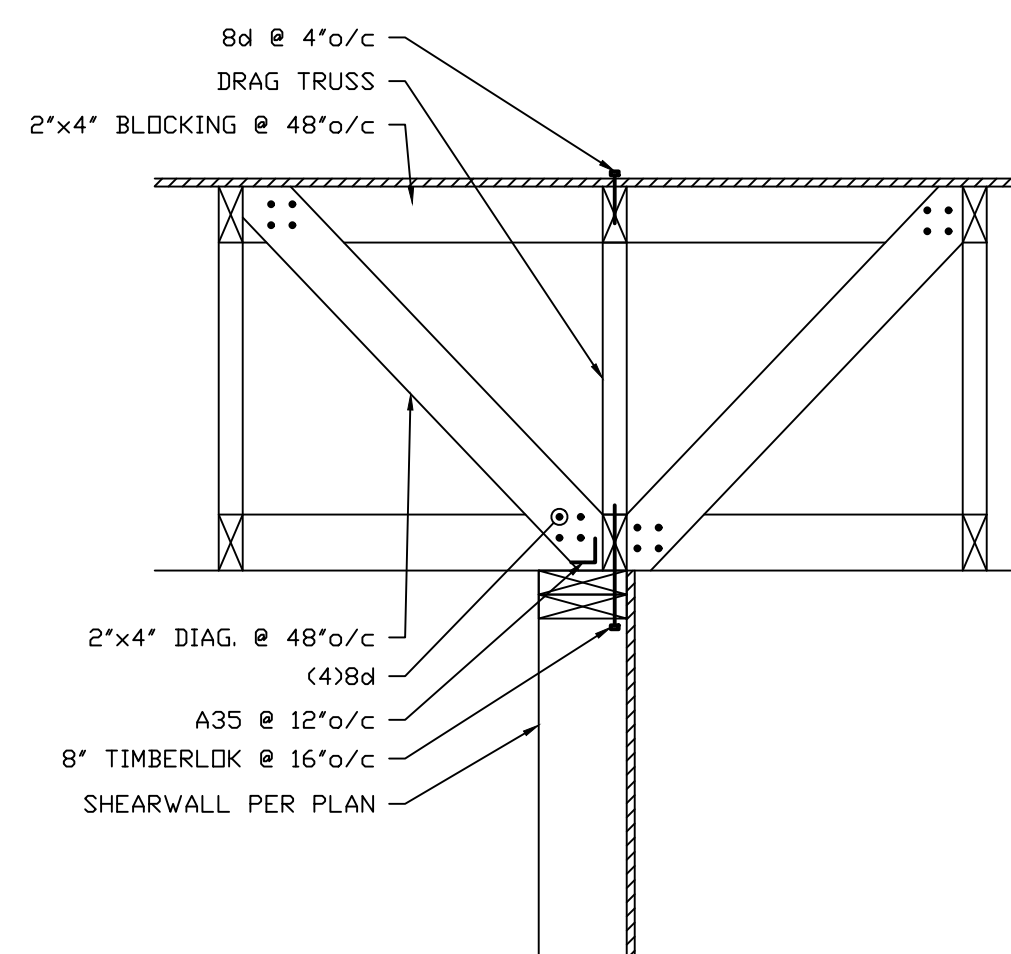
SCALE: AS SHOWN
 DATE: Nov. 2024
 DRAWING NUMBER: **13320**
 SHEET: **S4.1**



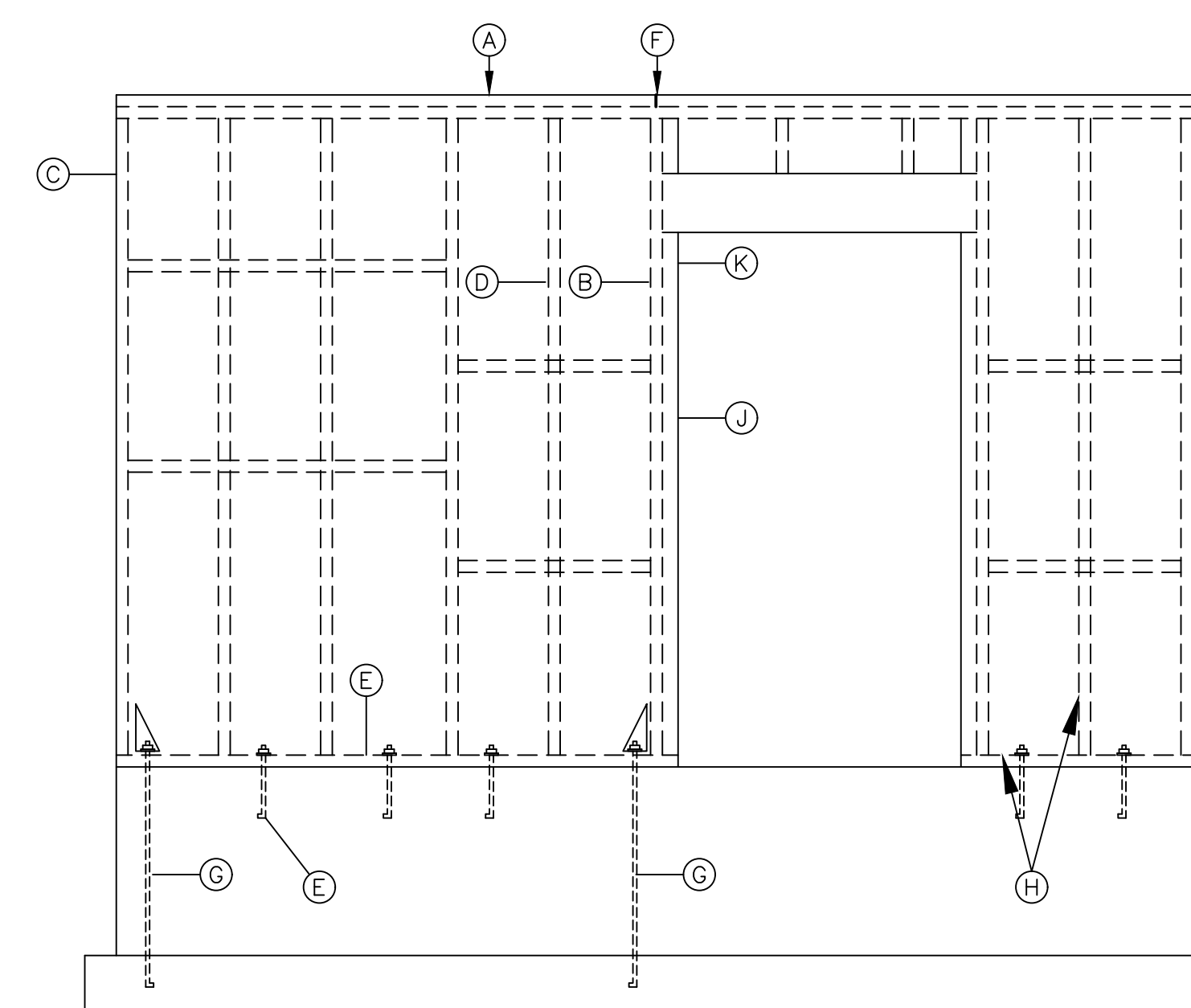
7-GABLE END ROOF SECTION
1"=1'-0"



8-ROOF TO INTERIOR SHEARWALL CONN. (PERP.)
1"=1'-0"

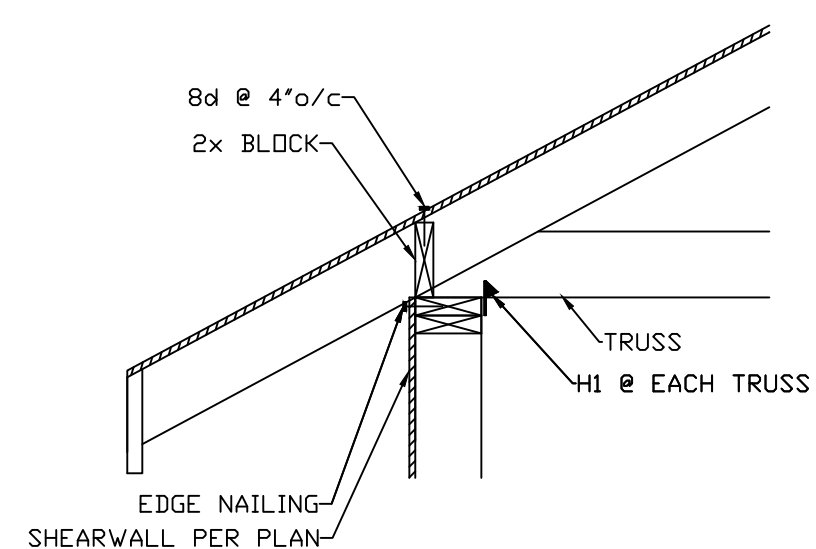


9-ROOF TO INTERIOR SHEARWALL CONN. (PARA.)
1"=1'-0"

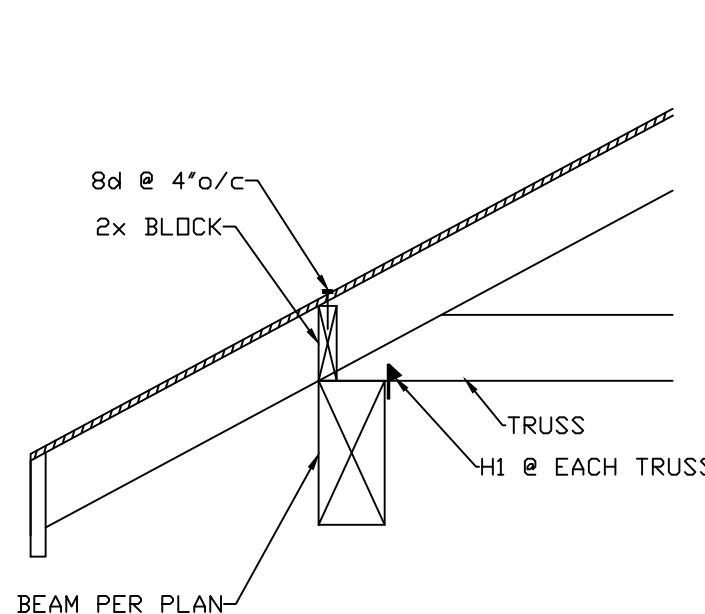


- (A) DOUBLE TOP PLATE w/ EDGE NAILING (STAGGER) (F) TOP PLATE SPLICE AND NAILING PER PLANS. SEE SHEARWALL SCHEDULE FOR LUMBER GRADE. LAP 4'-0" MINIMUM. CENTER SPLICE ON STUD.
- (B) EDGE NAILING AT ALL PANEL EDGES. BACK w/ 2x BLOCKING OR BACKING (G) HOLDDOWN PER SCHEDULE AND PLAN
- (C) EDGE NAILING TO HOLDDOWN POST (FULL HEIGHT) (H) COORDINATE ALL STUD AND PLATE SIZES w/ SHEARWALL SCHEDULE REQUIREMENTS
- (D) STUDS @ 16" o.c. (I) P.T. SILL PLATE w/ EDGE NAILING & ANCHOR BOLTS PER SHEARWALL SCHEDULE (PROVIDE A MINIMUM OF 5/8" dia. ANCHOR BOLTS @ 48" o.c.)
- (E) (J) EDGE NAILING TO POSTS. TRIM STUDS AND KING STUDS
- (K) JACK STUD FOR HEADER

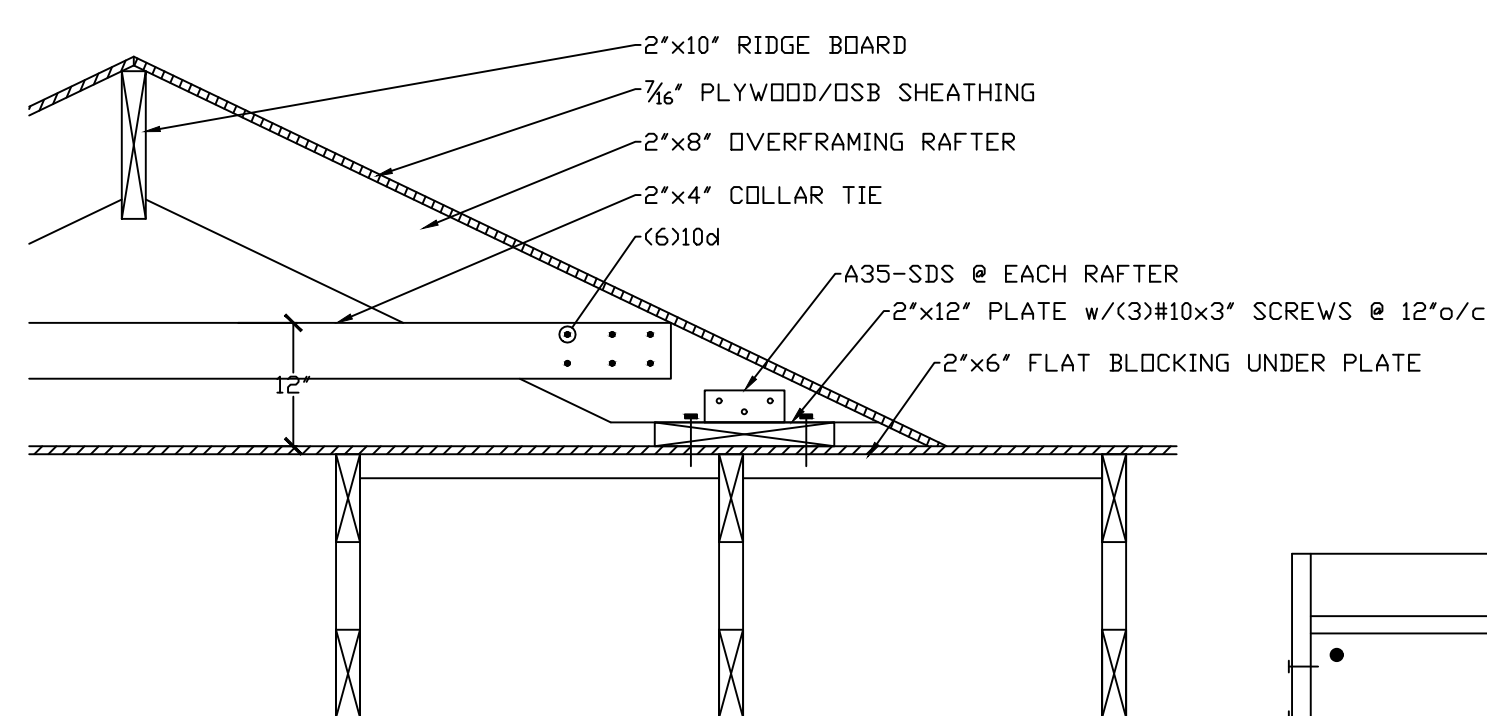
10-TYPICAL WOOD WALL FRAMING
NTS



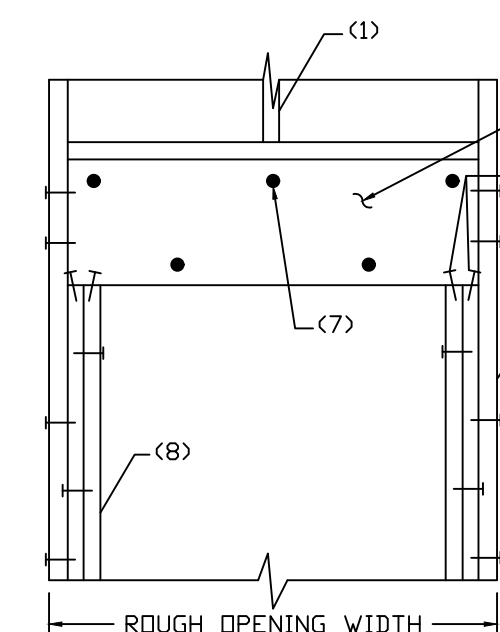
11-TYPICAL TRUSS AT SHEARWALL CONN.
3/4"=1'-0"



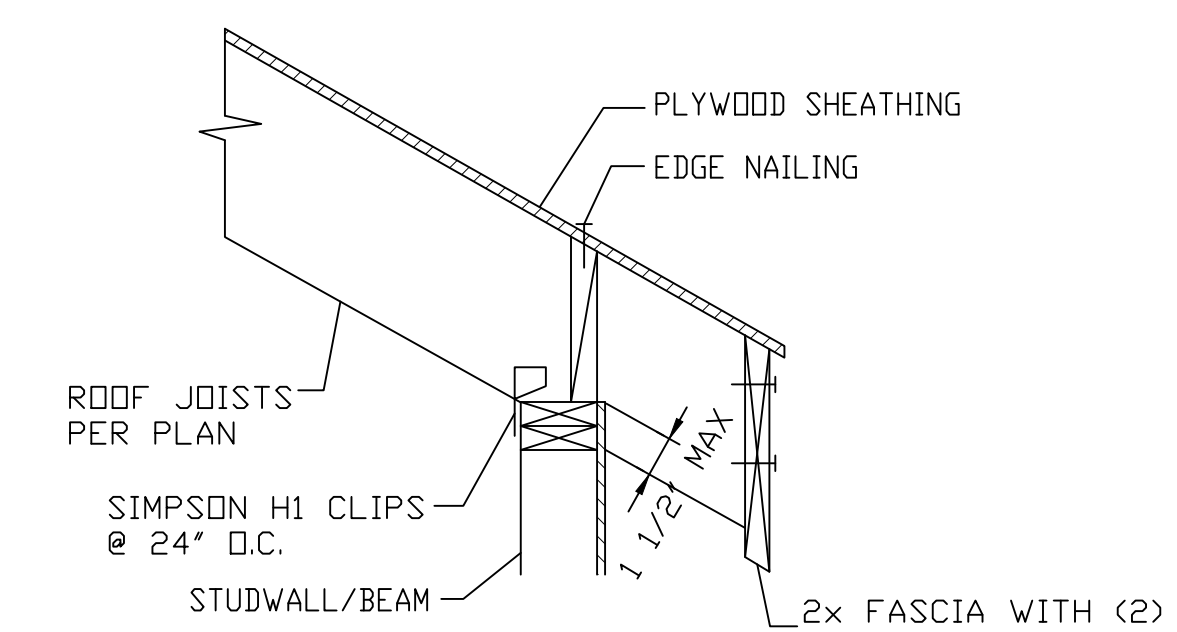
12-TRUSS AT BEAM CONN.
3/4"=1'-0"



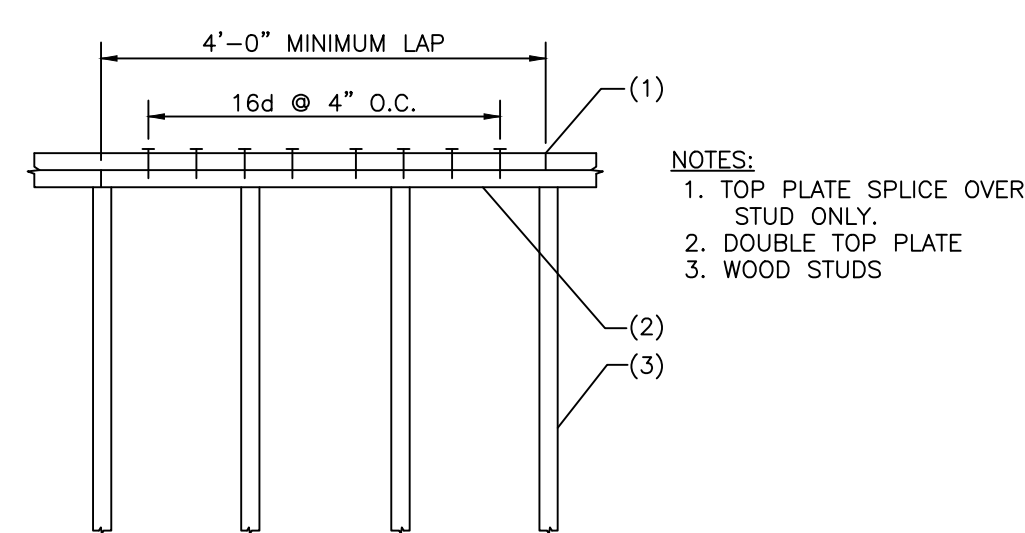
13-TYPICAL OVERFRAMING
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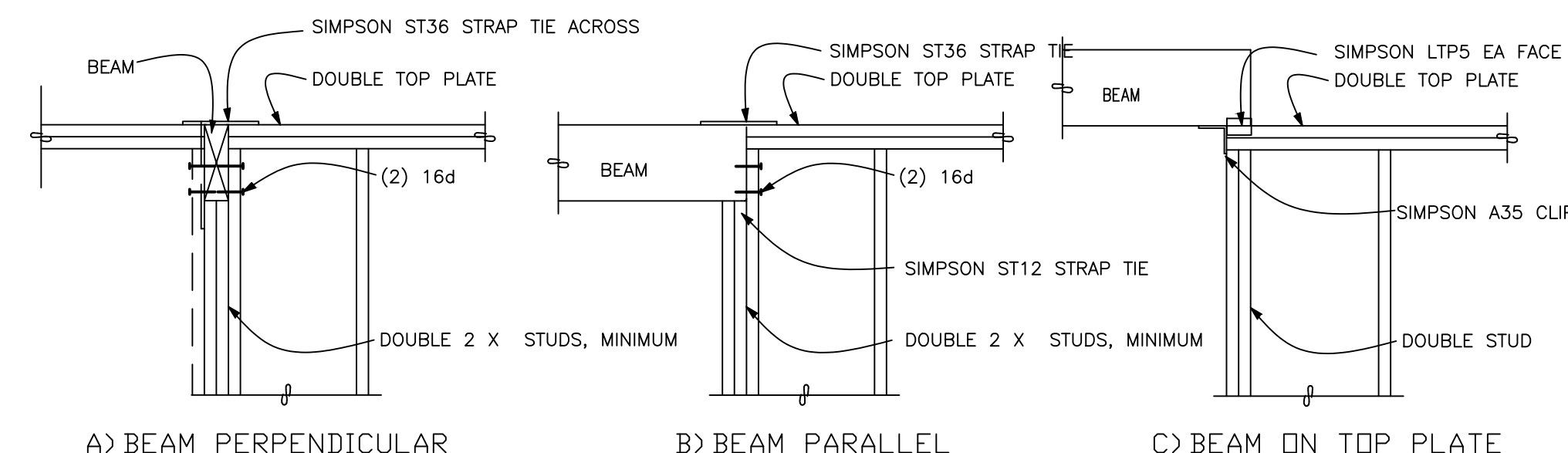
14-WOOD HEADER
NTS



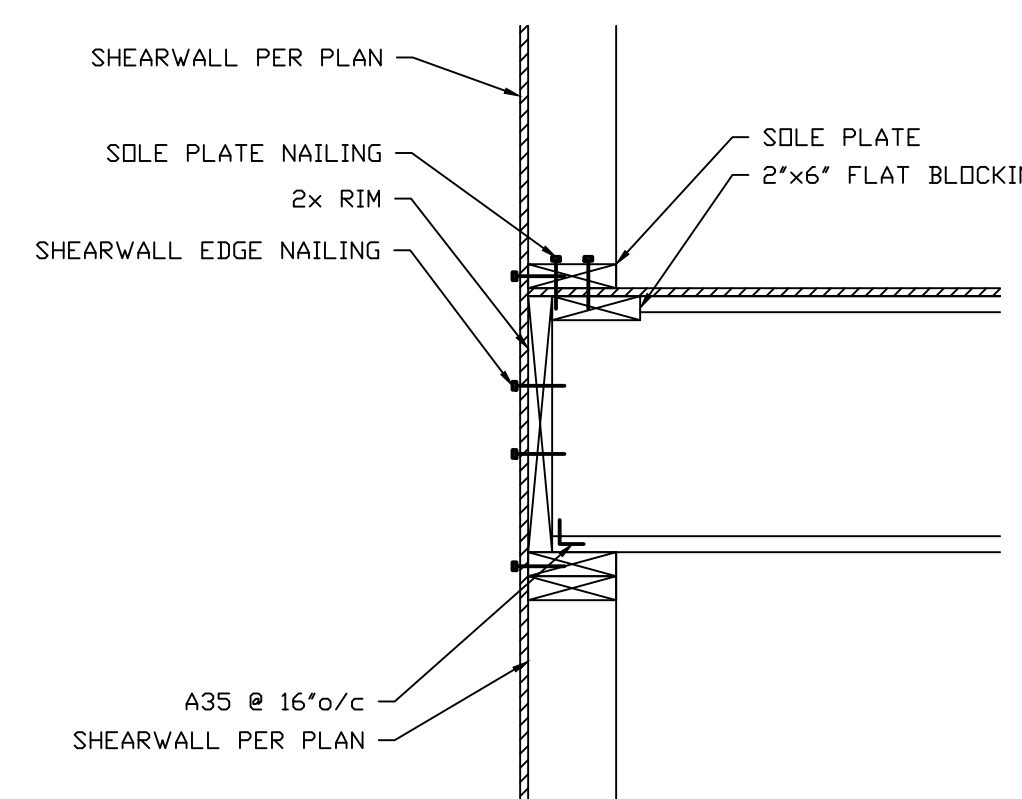
21-WOOD RAFTER AT WOOD STUDWALL/BEAM
NTS



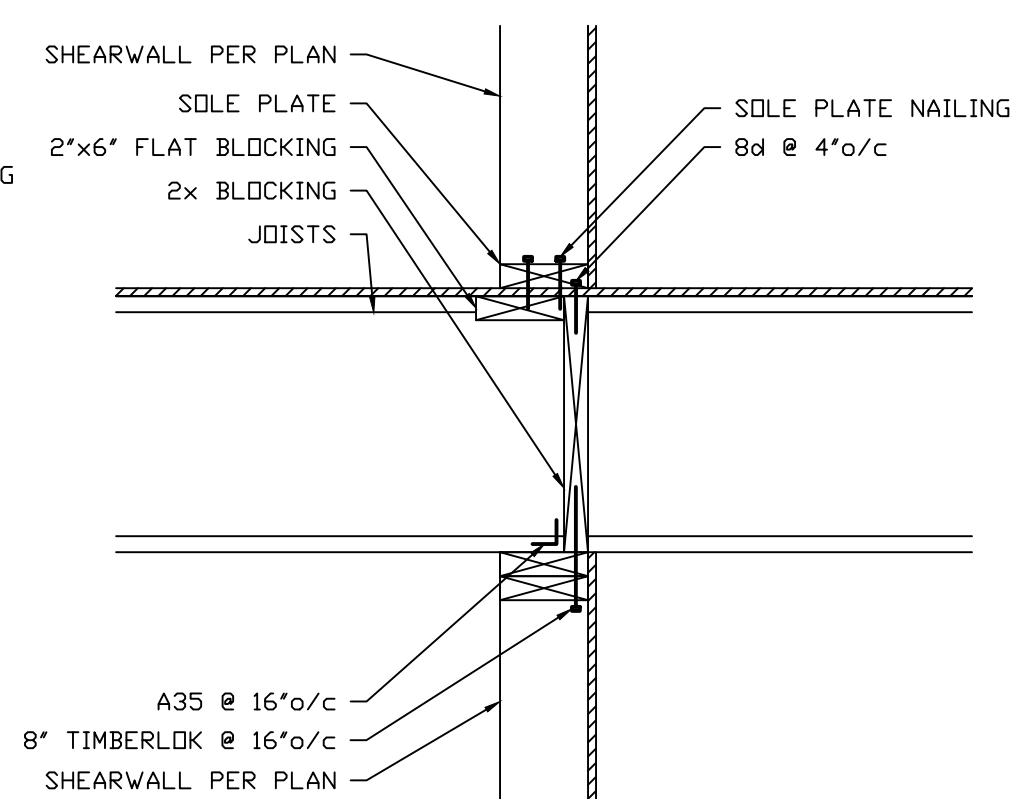
15-TYPICAL SPLICE OF WOOD TOP PLATE
1"=1'-0"



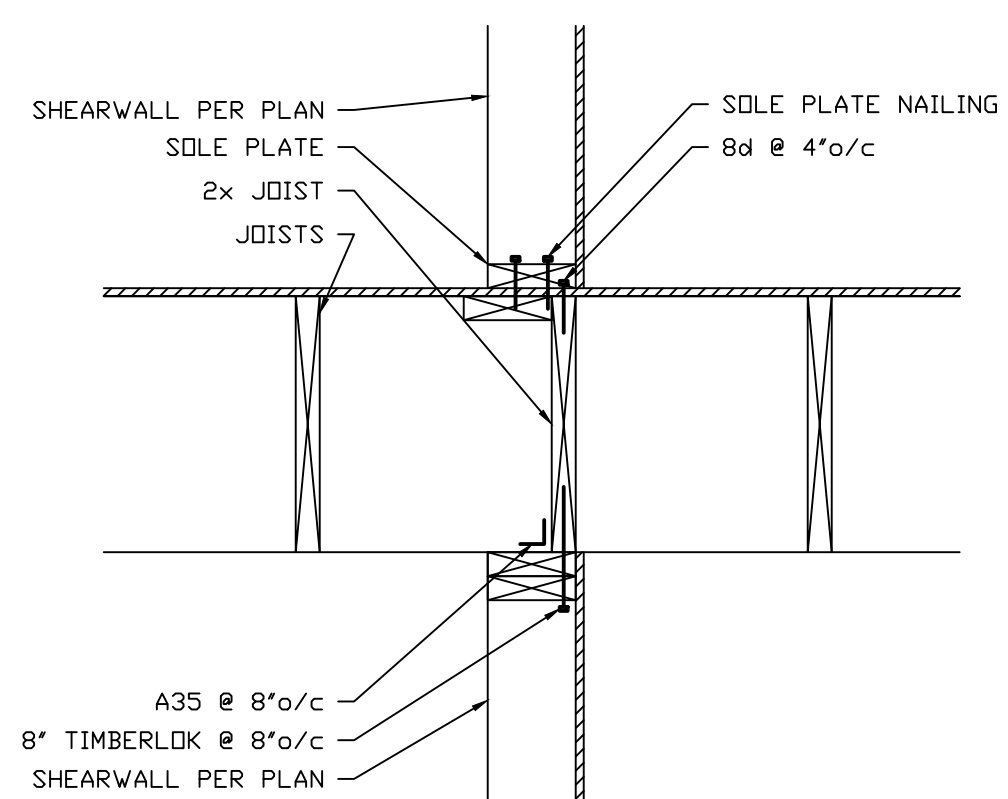
16-TYPICAL WOOD BEAM TO WOOD FRAMING
1"=1'-0"



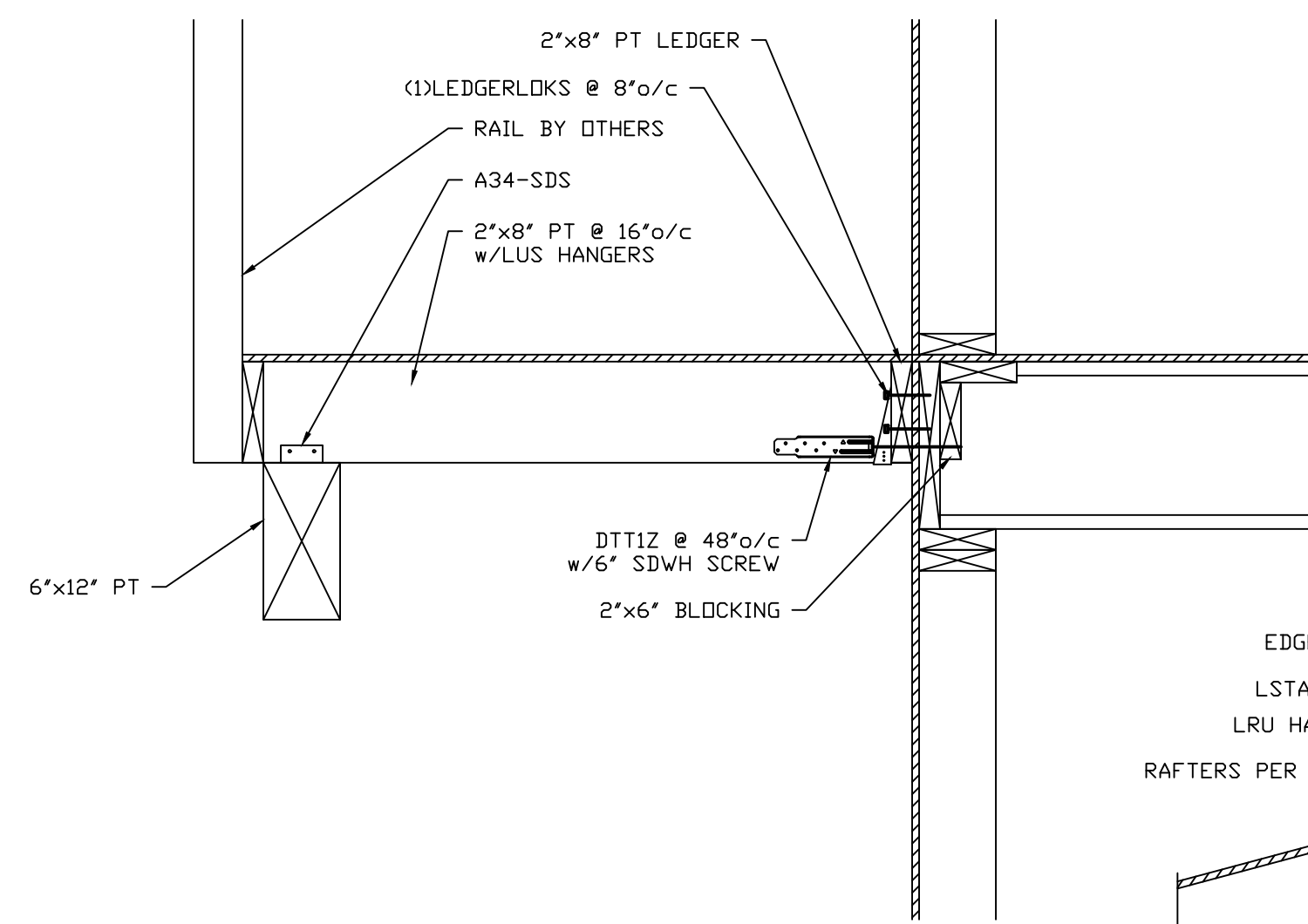
17-FLOOR TO FLOOR CONN.
1"=1'-0"



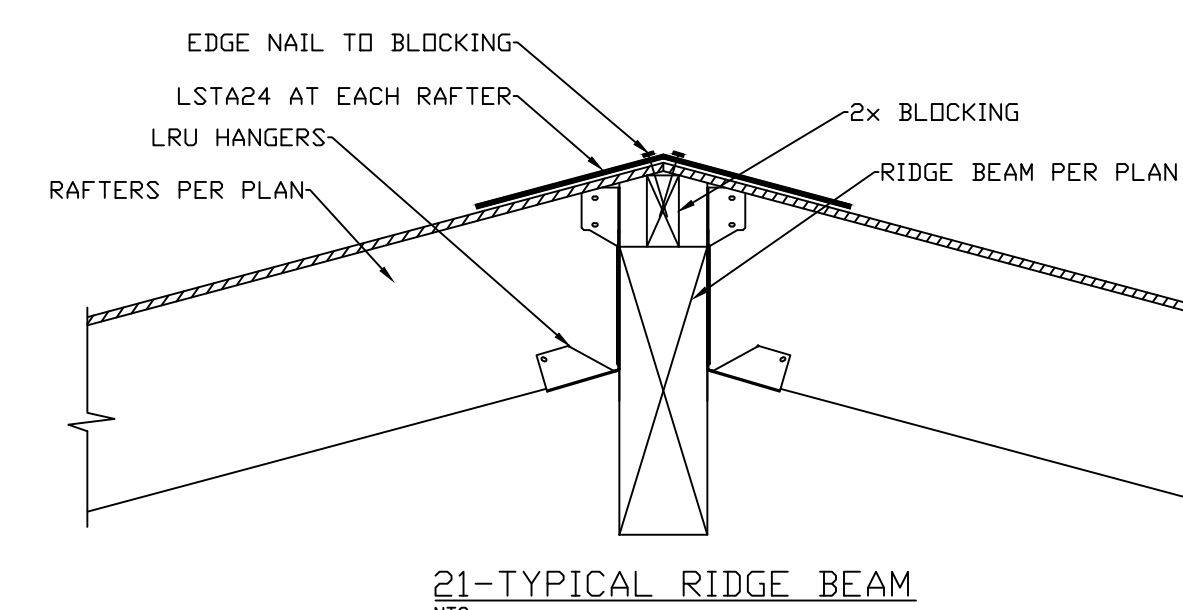
18-FLOOR TO INTERIOR SHEARWALL CONN. (PERP.)
1"=1'-0"



19-FLOOR TO INTERIOR SHEARWALL CONN. (PARA.)
1"=1'-0"



20-TYPICAL DECK SECTION
1"=1'-0"

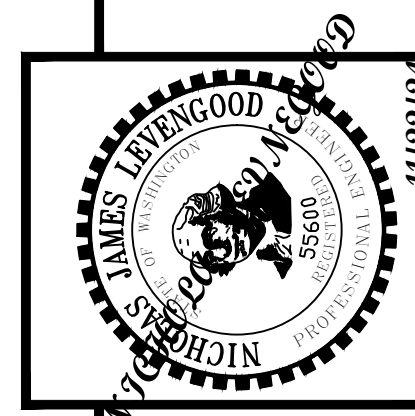


21-TYPICAL RIDGE BEAM
NTS

REVISIONS		BY	DATE
NO.	DESCRIPTION	NIL	11/24
		NIL	11/24
		NIL	11/24
		NIL	11/24
		NIL	11/24

Russell Palanchuk

Structural Details
9734 SE 40th Street
Mercer Island, WA 98040



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(360) 895-2350 or (360) 876-2284
2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

TEMPORARY EROSION AND SEDIMENT CONTROL (TESC) PLAN

A PORTION OF SECTION 07, TOWNSHIP 24, RANGE 05E, W.M.
MERCER ISLAND, KING COUNTY, WA

GOODMAN ENGINEERING, PLLC

PO BOX 234
SPANGLE, WA 99031
(253) 579-4839

SCALE

HORIZ. 1"=20'
VERT. N/A



3/5/25

DATE

REVISIONS

1 2 3 4 5 6 7 8

TESC PLAN
RUSSELL PALANCHUK
9734 SE 40TH ST
MERCER ISLAND, WA, 98040

SHEET TITLE

C2

SHEET NO.

2 OF 3

SOIL AMENDMENT NOTES:

SOIL RETENTION

RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING, REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

SOIL QUALITY

ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
2. MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL.

3. USE COMPOST AND OTHER MATERIALS THAT MEET THE FOLLOWING ORGANIC CONTENT REQUIREMENTS:

A. THE ORGANIC CONTENT FOR 'PRE-APPROVED' AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BMP 17.30: BIORETENTION WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE.

THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.

B. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIAL MEETING (A.) ABOVE; OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TEST-ING PARAMETERS, IN WAC 173-350-220.

THE RESULTING SOIL SHOULD BE CONDUCIVE TO THE TYPE OF VEGETATION TO BE ESTABLISHED.

IMPLEMENTATION OPTIONS
THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:

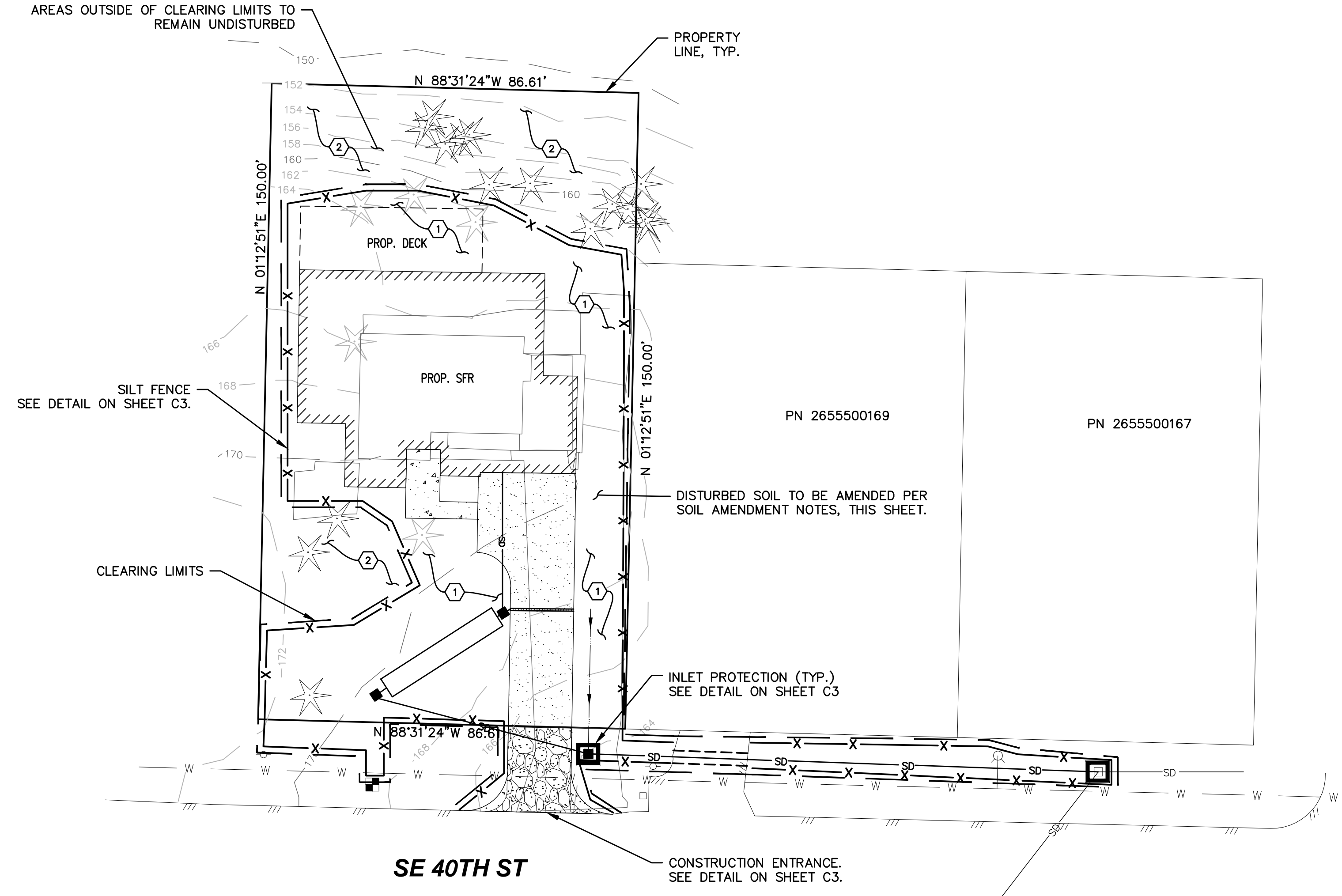
1. LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
2. AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT 'PRE-APPROVED' RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
3. STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT 'PRE-APPROVED' RATE OR AT A CUSTOM CALCULATED RATE.
4. IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS. MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

EROSION CONTROL NOTES:

1. APPROVAL OF THIS EROSION AND SEDIMENT CONTROL PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC).
2. THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE EROSION AND SEDIMENT CONTROL FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETE AND APPROVED, AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE EROSION AND SEDIMENT CONTROL FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAY, OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE EROSION AND SEDIMENT CONTROL FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE UPGRADED AS NEEDED FOR EXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
6. THE EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
7. THE EROSION AND SEDIMENT CONTROL FACILITIES ON INACTIVE SITE SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
8. AT NO TIME SHALL MORE THAN 1-FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSYSTEM SYSTEM.
9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

CONSTRUCTION SEQUENCE:

1. MARK CLEARING/GRADING LIMITS.
2. INSTALL TEMPORARY CONSTRUCTION ENTRANCE.
3. INSTALL SILT FENCE AND PERIMETER RUNOFF BMP.
4. INSTALL INLET PROTECTION.
5. PERFORM CLEARING AND GRADING ACTIVITIES.
6. CONSTRUCT SITE IMPROVEMENTS.
7. COMPLETE FINAL GRADING, STABILIZATION, AND LANDSCAPING.
8. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL BMPs.
9. MONITOR AND MAINTAIN PERMANENT EROSION PROTECTION UNTIL FULLY ESTABLISHED.



KEY NOTE LEGEND

KEY NOTE LEGEND

- ① SOIL AMENDMENT AREA
- ② SOIL TO REMAIN UNDISTURBED

LEGEND

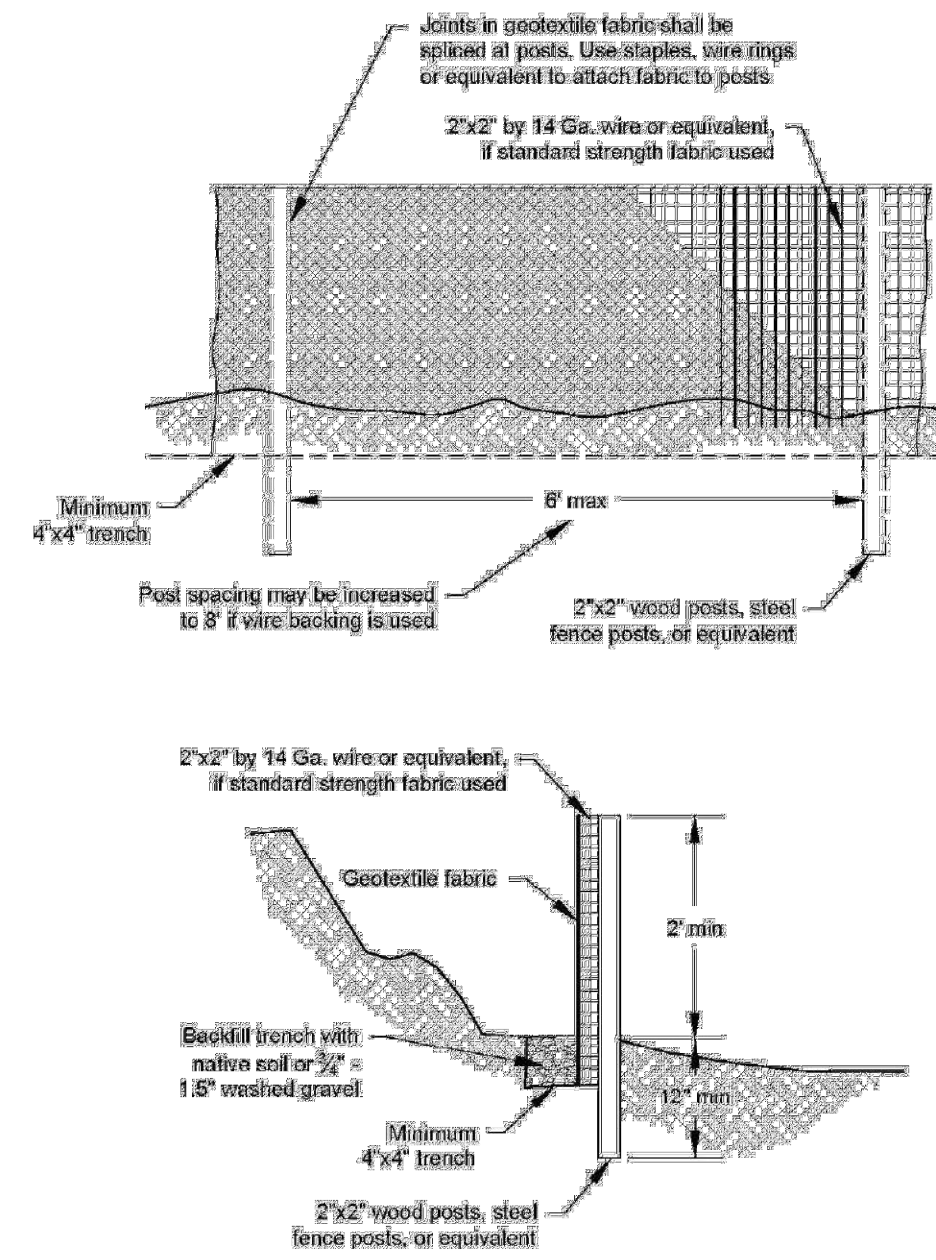
EXISTING	PROPOSED
— 500 —	2' CONTOURS MAJOR
— 498 —	2' CONTOURS MINOR
	FLOW PATH
	SILT FENCE
	CLEARING LIMITS
	INLET PROTECTION



BOUNDARY AND TOPOGRAPHY ARE BASED ON MAPPING PROVIDED TO GOODMAN ENGINEERING, PLLC AND OBSERVATIONS MADE IN THE FIELD. THE INFORMATION SHOWN DOES NOT CONSTITUTE A FIELD SURVEY BY GOODMAN ENGINEERING, PLLC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER TO HAVE ALL IMPROVEMENT FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND.

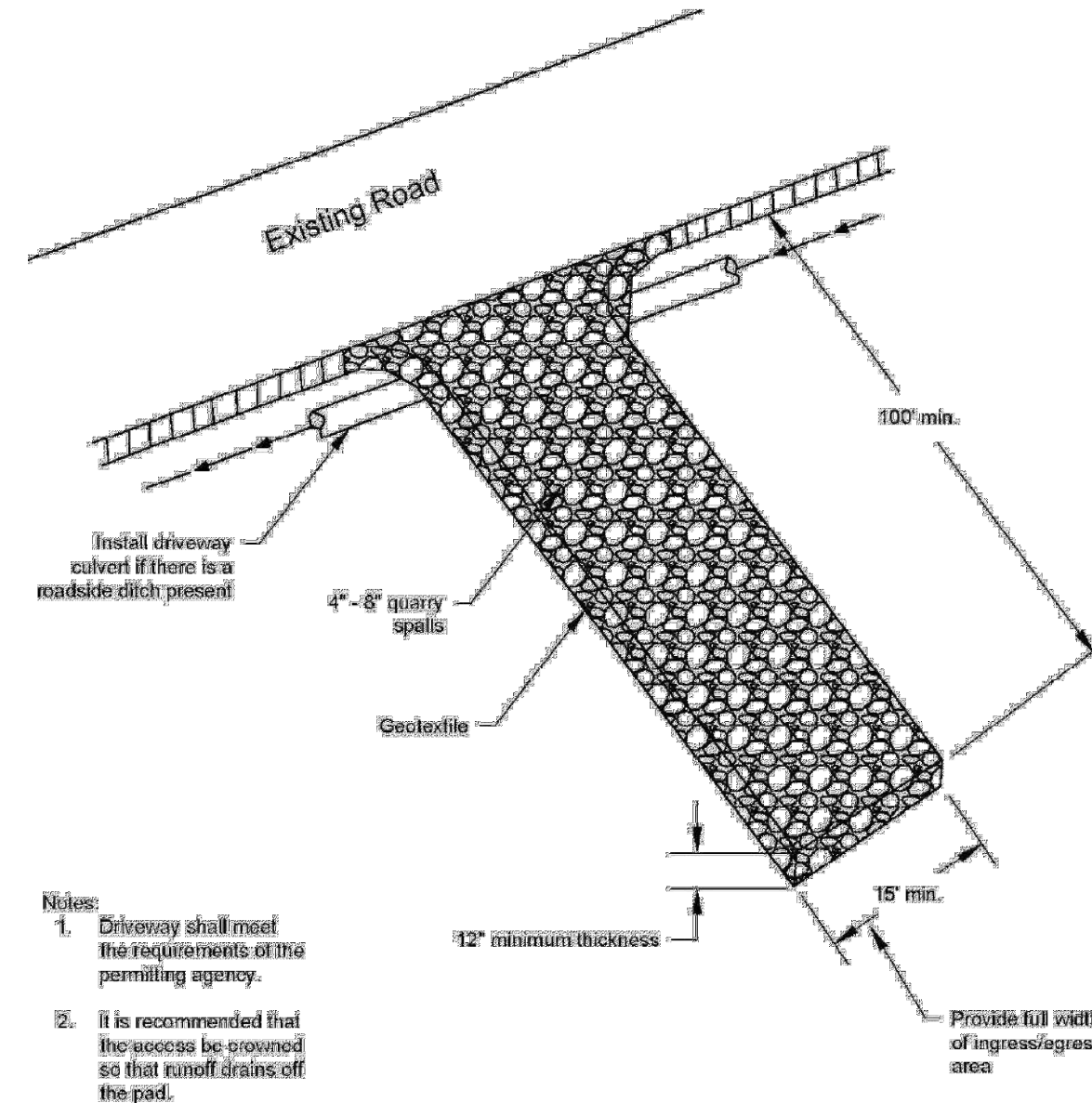
DETAILS AND NOTES

A PORTION OF SECTION 07, TOWNSHIP 24, RANGE 05E, W.M.
MERCER ISLAND, KING COUNTY, WA

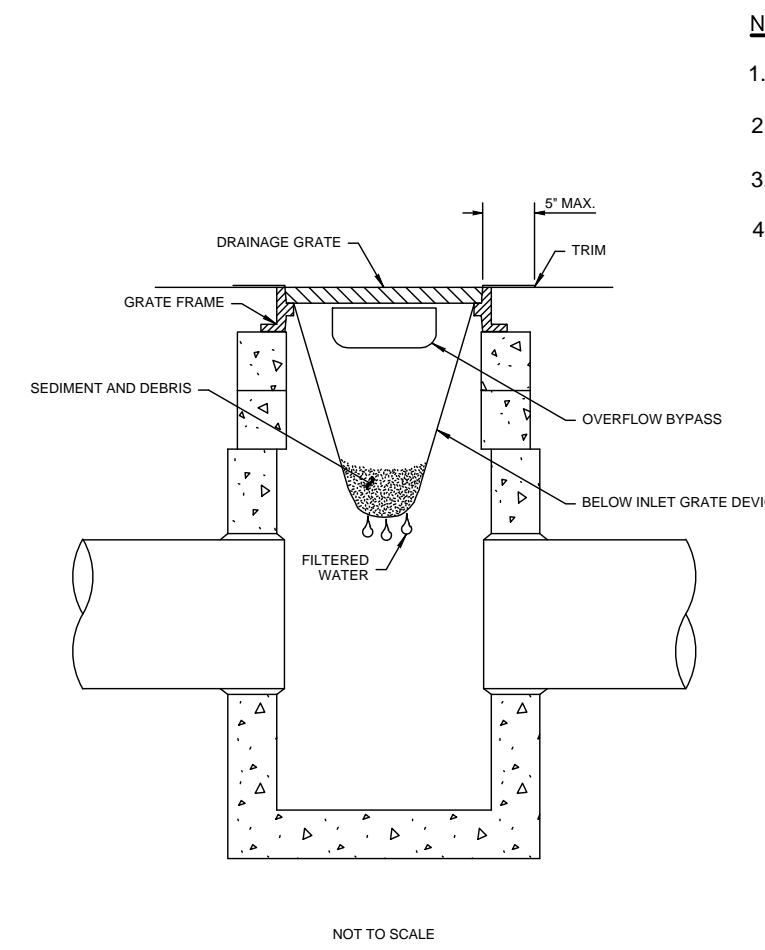


SILT FENCE
NOT TO SCALE

NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

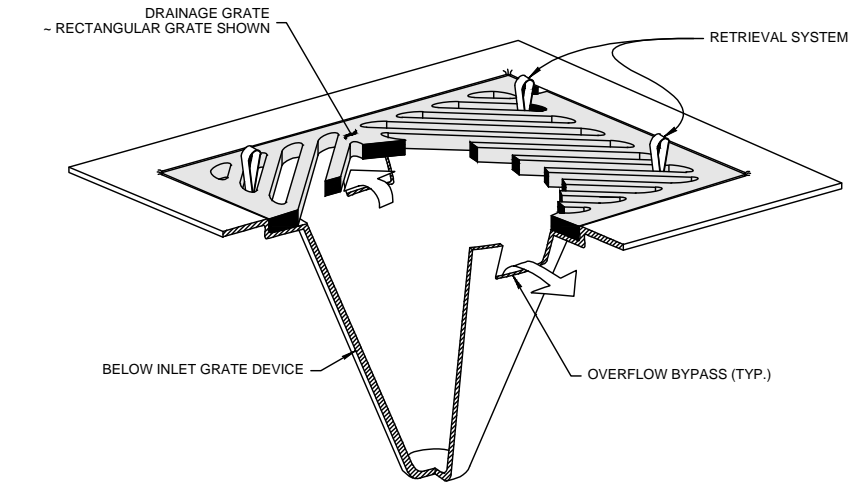


INLET PROTECTION
NOT TO SCALE

NOT TO SCALE

NOTES:

1. SIZE THE BELOW INLET GRATE DEVICE (BIGD) FOR THE STORM WATER STRUCTURE IT WILL SERVICE.
2. THE BIGD SHALL HAVE A BUILT-IN HIGH-FLOW RELIEF SYSTEM (OVERFLOW BYPASS)
3. THE RETRIEVAL SYSTEM MUST ALLOW REMOVAL OF THE BIGD WITHOUT SPILLING THE COLLECTED MATERIAL.
4. PERFORM MAINTENANCE IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATION 8-01.3(15).



GOODMAN ENGINEERING, PLLC

PO BOX 234
SPANGLE, WA 98031
(253) 579-4839

SCALE
HORIZ. N/A
VERT. N/A



3/5/25

REVISIONS	DATE
1	
2	
3	
4	
5	
6	
7	
8	

DETAILS
RUSSELL PALANCHUK
9734 SE 40TH ST
MERCER ISLAND, WA, 98040

SHEET TITLE

C3

SHEET NO.

3 OF **3**

BOUNDARY AND TOPOGRAPHY ARE BASED ON MAPPING PROVIDED TO GOODMAN ENGINEERING, PLLC AND OBSERVATIONS MADE IN THE FIELD. THE INFORMATION SHOWN DOES NOT CONSTITUTE A FIELD SURVEY BY GOODMAN ENGINEERING, PLLC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER TO HAVE ALL IMPROVEMENT FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND.



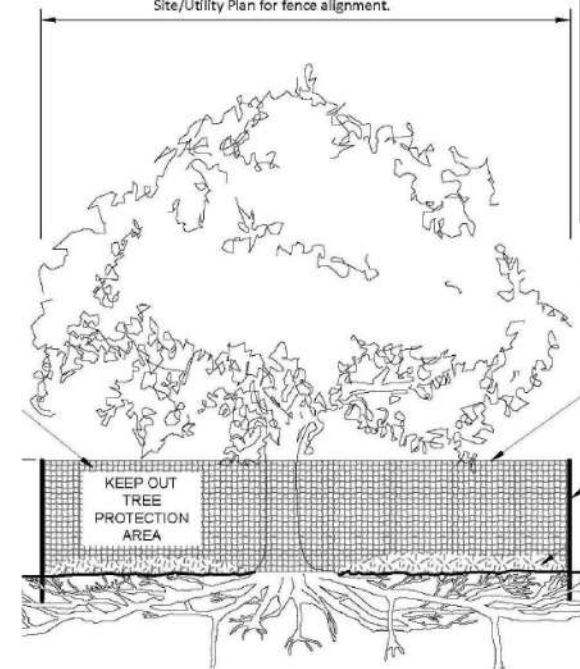
DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees/financial penalties
3. Arborist reports recommending mitigation

Notes

1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
2. No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
3. Penalties for damaging by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (MICC 19.10.160).
4. Any work in approved TP2 must be with the permission of the City Arborist (206) 275-7713, john.kenney@mercergov.org.
5. 5" course woodchips within the tree protection zone, but not against the tree trunk.



Tree protection fence: 6' chain link fence, solidly anchored into the ground, or if authorized High-density polyethylene fencing with 3.5" x 1.5" openings; color orange. Steel posts installed at 8' o.c.

2' x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indication on the plans

Any Work in the protected area must be with the permission of the City Arborist john.kenney@mercergov.org

Tree Assessment		Site: Palanchuck, 9734 40th St., Mercer Island, WA		Tax ID: 502190-0899		Date: 2/11/2025		Assessor: Tom Hanson PN0426A		Project: 2025-19										
Tag #	Tree #	Common	Species	DBH (inches)	Height (feet)	Crown Ratio (%)	Dripheight (feet)	Protection Zone-Outer Radius (feet)	Inner Zone-Radius (feet)	Vigor	Structure	Viability	Class	Grave	Comments					
1	1*	Big leaf maple	Acer macrophyllum	28.2	85	60	12	26	12	18	28	14	Fair	Fair	Regulated	No	Bolt decay to 14", dead wood, OK in NGPA.			
2	2	Big leaf maple	Acer macrophyllum	17.8	90	40	14	20	0	18	18	9	Fair	Fair	Regulated	No	OK in NGPA.			
3	3	Big leaf maple	Acer macrophyllum	26.0	90	30	23	12	12	20	10	10	Fair	Poor	Regulated	No	Bolt decay to 14", OK in NGPA.			
4	4	Big leaf maple	Acer macrophyllum	16.9	75	30	12	14	14	11	5	5	Good	Fair	Regulated	No	OK in NGPA.			
5	5	Big leaf maple	Acer macrophyllum	14.7	80	30	10	24	12	12	15	7	Good	Poor	Regulated	No	Bolt decay to 14", OK in NGPA.			
6	6	Big leaf maple	Acer macrophyllum	8.3	40	0	0	0	0	8	4	0	0	0	0	0	0	Not Regulated	No	Dead, OK in NGPA.
7	7	Big leaf maple	Acer macrophyllum	11.1	40	20	0	14	14	11	6	6	Good	Fair	Regulated	No	Creaked			
8	8	Alder	Alnus rubra	7.8	80	50	22	0	16	0	8	4	Good	Fair	Not Regulated	No				
9	9	Laurel	Prunus laurocerasus	7.5	25	80	18	0	6	6	8	4	Good	Poor	Not Regulated	No				
10	10*	Laurel	Prunus laurocerasus	8.4	30	90	8	12	6	12	8	4	Good	Good	Not Regulated	No				
11	11	Laurel	Prunus laurocerasus	6.5	25	80	8	7	5	7	7	3	Good	Good	Not Regulated	No				
12	12	Hawthorne	Crataegus monogyna	15.1	50	80	16	14	14	14	15	8	Good	Good	Regulated	No				
13	13	Hawthorne	Crataegus monogyna	6.9	30	80	0	14	8	6	6	3	Good	Good	Not Regulated	No				
14	14	Purple leaf plum	Prunus coccinea	8.6	16	80	6	13	10	10	9	4	Good	Good	Not Regulated	No				
15	15	Hawthorne	Crataegus monogyna	6.1	25	90	6	10	8	8	6	3	Good	Good	Regulated	No				
16	16	Norway spruce	Picea abies	12	50	90	7	7	7	12	6	6	Good	Good	Regulated	No				
17	17	Birch	Betula papyrifera	22.1	60	70	12	16	16	22	11	11	Good	Fair	Regulated	No	Topped at 30' and recovered from Brown Birch Blight.			
18	18	Apple	Malus sp.	9.8	16	60	10	10	10	10	5	5	Good	Good	Not Regulated	No				
19	19	Birch	Betula papyrifera	22.4	60	70	19	19	19	22	11	11	Good	Fair	Regulated	Exceptional	Topped at 30' and recovered from Brown Birch Blight.			
Off Site																				
A		Big leaf maple	Acer macrophyllum	23.2	85	70	18	30	16	12	23	12	Good	Fair	Regulated	No	Two codominants splitting, OK in NGPA.			
B		Red alder	Alnus rubra	19.2	90	60	18	18	14	16	19	10	Good	Good	Regulated	No				
C		Red alder	Alnus rubra	16.1	70	40	18	16	16	16	8	8	Fair	Fair	Regulated	No				
D*		Laurel	Prunus laurocerasus	8.6	30	80	8	12	10	10	9	4	Good	Good	Not Regulated	No				
E		Asiatic pine	Pinus nigra	25.7	70	80	10	20	16	24	26	13	Good	Fair	Regulated	No	Two codominants at 17'			
F		Asiatic pine	Pinus nigra	22.1	70	80	18	10	16	24	22	11	Good	Fair	Regulated	No	Two codominants at 17'			
G		Big leaf maple	Acer macrophyllum	12.5	45	60	8	16	6	13	6	6	Good	Good	Regulated	No				
H		Mountain Hemlock	Tsuga mertensiana	6.0	18	100	4	4	4	6	3	3	Good	Good	Not Regulated	No				

CONTACTS
 ARCHITECT/DESIGNER: ALDOR LLC
 26809 199TH AVE SE
 COVINGTON WA, 98042
 CONTACT: DORIN CORNITEL / DESIGNER
 (206)-747-8421
 ALDOR.ARCHITECTURE.CONSTRUCTION@OUTLOOK.COM

JURISDICTION
 CITY OF MERCER ISLAND - RESIDENTIAL BUILD PERMITS
 9611 SE 36TH STREET
 MERCER ISLAND, WA 98040
 (206)-275-7605

GENERAL NOTES
 1. CALL LOCAL UTILITIES BEFORE YOU DIG
 2. CONTRACTOR IS RESPONSIBLE FOR POSTING ALL PERMITS ON SITE.

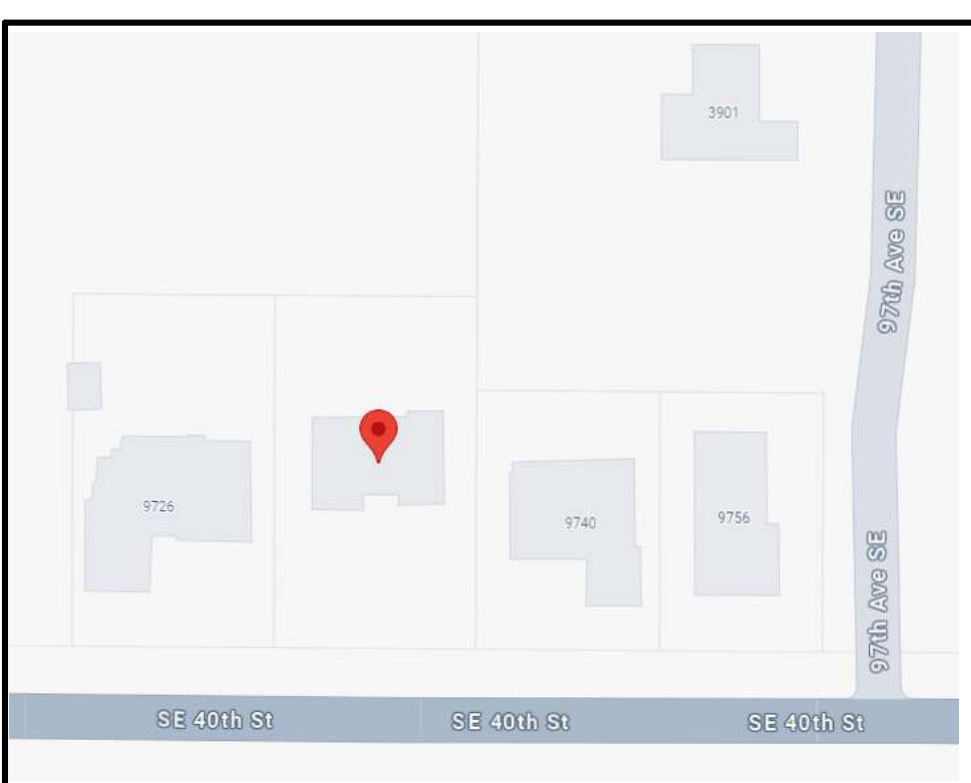
SITE/BUILDING DATA

OWNER: RUSSELL PALANCHUCK
 9734 SE 40TH ST 98040
 PARCEL: 265550-0176
 PROPERTY ZONING: R-8.4

LOT SIZE: 12,992 SQ. FT. OR 0.30 ACRES
 PLAT LOT 18
 SEWER/SEPTIC: PUBLIC
 WATER: PUBLIC
 SETBACKS: FRONT: 20'
 SIDES: 5' MIN. ON ONE SIDE, WITH THE TWO SIDES TOTALING 15'
 REAR: 25'

BUILDING SQ. FT.

* MAIN FLOOR	2,179 SQ. FT.
* UPPER LOOR	2,264 SQ. FT.
* GARAGE	556 SQ. FT.



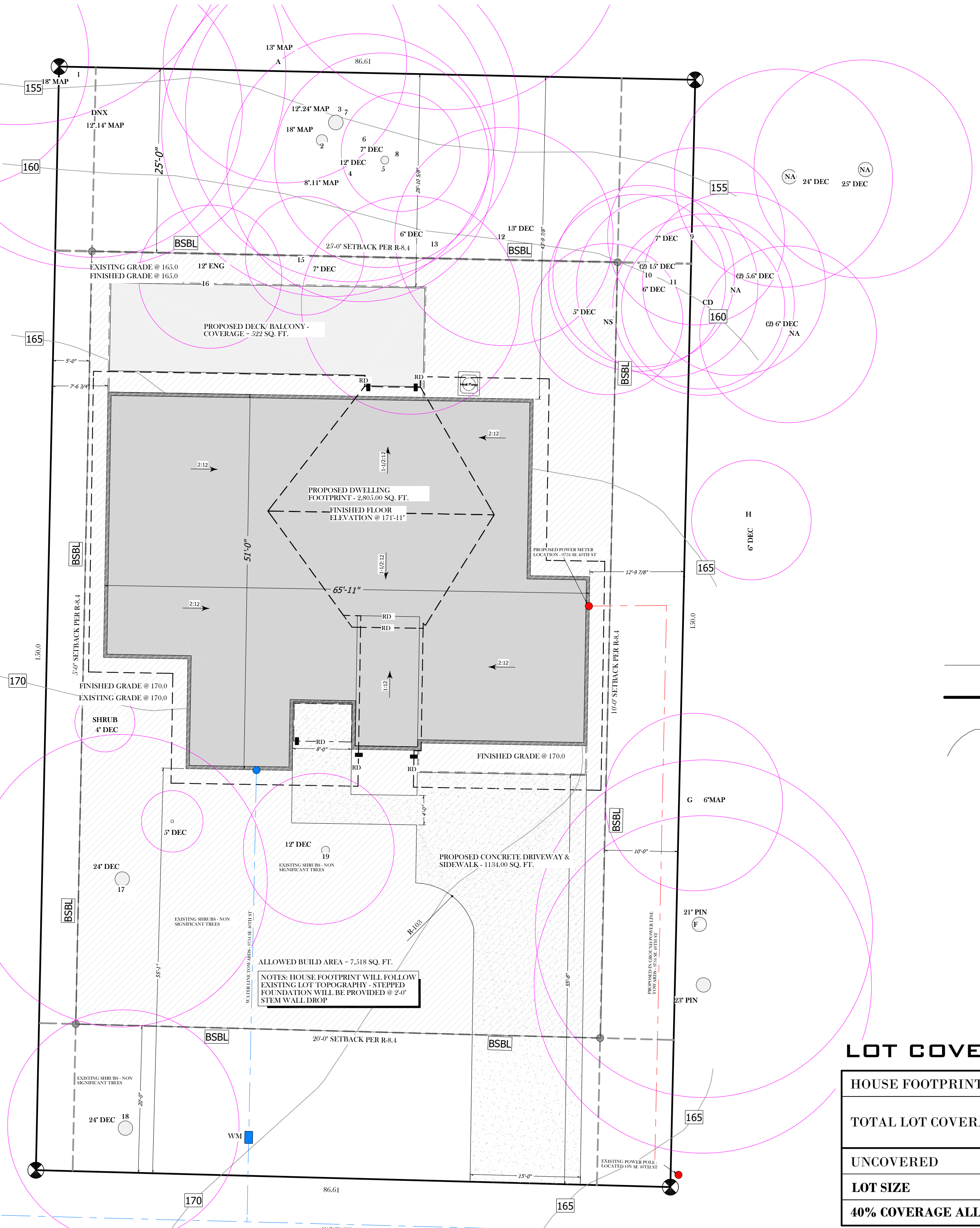
VICINITY MAP

SE 40TH ST
 TAX LOT #265550-0176
 LOT1 - 12,992 SQ. FT.

PROPOSED SITE PLAN
 SCALE 1" = 10'



NOTE: NO TREES TO BE REMOVED



LEGEND

- NORTH ARROW
- BSBL BOUNDARIES
- LOT BOUNDARIES
- ROOF DRAINAGE LINE
- PROPOSED DOWNSPOUTS
- BUILDING ENVELOPE
- EXISTING TREES
- WATER MAIN LINE
- GAS LINE
- POWER MAIN LINE
- BUILDING SET BACK LINE
- PROPERTY LINE
- TOPOGRAPHICAL CONTOUR LINES
- WATER METER BOX
- PROPOSED DECK STRUCTURE
- PROPOSED SFR - DWELLING
- PROPOSED CONCRETE DRIVEWAY/ SIDEWALK
- BUILD-ABLE AREA

LOT COVERAGE CALCULATIONS

HOUSE FOOTPRINT	2,805 SQ. FT.	22.0%
TOTAL LOT COVERAGE	2,805 SQ. FT.	22.0%
UNCOVERED	7,159 SQ. FT.	78.0%
LOT SIZE	12,992 SQ. FT.	100%
40% COVERAGE ALLOWABLE	5,196.8 SQ. FT.	40%

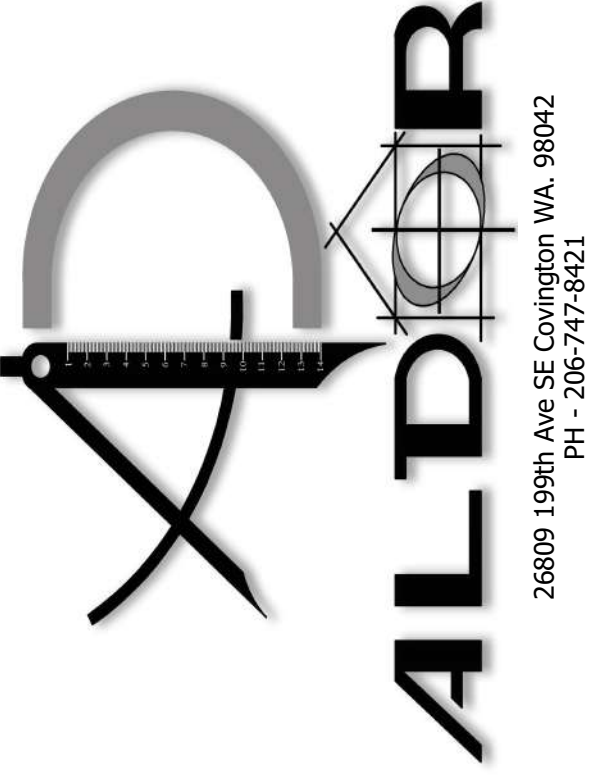
NOTE: TOTAL COVERAGE IS UNDER 40%

IMPERVIOUS AREA/ HARDSCAPE CALCS.

HOUSE FOOTPRINT	2,805 SQ. FT.	22.0%
CONCRETE DRIVEWAY AND SIDEWALK	1,134 SQ. FT.	9.0%
PROPOSED DECK/BALCONY	552 SQ. FT.	.05%
LOT SIZE	12,992 SQ. FT.	100%
IMPERVIOUS AREA IN %	4,491 SQ. FT.	31.05%

GFA CALCULATIONS

BUILDING AREA	
MAIN FLOOR AREA	2,200 SQ. FT.
UPPER FLOOR AREA	2,264 SQ. FT.
ATTACHED 2 CAR GARAGE AREA	535 SQ. FT.
TOTAL GFA	4,999 SQ. FT.



THESE PLANS HAVE BEEN PREPARED BY ALDOR AND RELEASED BY ALDOR LLC AND ARE TO BE USED ONLY FOR THE PROJECT IDENTIFIED HEREIN. THIS PLAN SET MAY BE USED ONLY BY THE PROJECT IDENTIFIED HEREIN. FOR ALL OTHER PROJECTS, A SEPARATE PLAN SET MUST BE OBTAINED. THIS PLAN SET MAY NOT BE ALTERED, COPIED, OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ALDOR LLC. VIOLATION OF THESE TERMS IS STRICTLY ENFORCED.

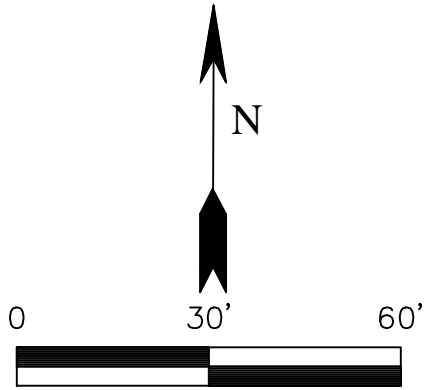
THESE PLANS WERE EXCLUSIVELY DESIGNED FOR
RUSSELL PALANCHUCK
 9734 SE 40TH ST
 MERCER ISLAND, WA 98040
 PARCEL # - 265550-0176

HOME OWNER / GENERAL CONTRACTOR SHALL VERIFY ALL UTILITIES AND GRADING REQUIREMENTS, BUILDING CODES, AND GRADING REQUIREMENTS. DESIGNER RESERVES THE RIGHT TO MODIFY THESE PLANS AT ANY TIME WITHOUT NOTICE TO THE SUBMITTER. SUBMITTER SHALL COORDINATE CLOSELY WITH HOMEOWNER PRIOR TO PROCEEDING WITH THE LAYOUT OF UTILITIES. CONTRACTOR SHALL VERIFY ALL UTILITIES AND GRADING REQUIREMENTS. A LACK OF COORDINATION BETWEEN SUB-CONTRACTORS AND HOMEOWNER.
 THESE PLANS ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO IDENTIFY THE MOST SIGNIFICANT ELEMENTS OF THE PROJECT. CONTRACTOR SHALL VERIFY ALL UTILITIES AND GRADING REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH LOCAL AND INTERNATIONAL REGULATORY AGENCIES REGARDING COMPLIANCE WITH LOCAL AND INTERNATIONAL REGULATORY AGENCIES. CONTRACTOR SHALL VERIFY ALL UTILITIES AND GRADING REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL UTILITIES AND GRADING REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL UTILITIES AND GRADING REQUIREMENTS.

Sheet Description	SITE PLAN
Plan Name	9734 SE 40TH ST 98040

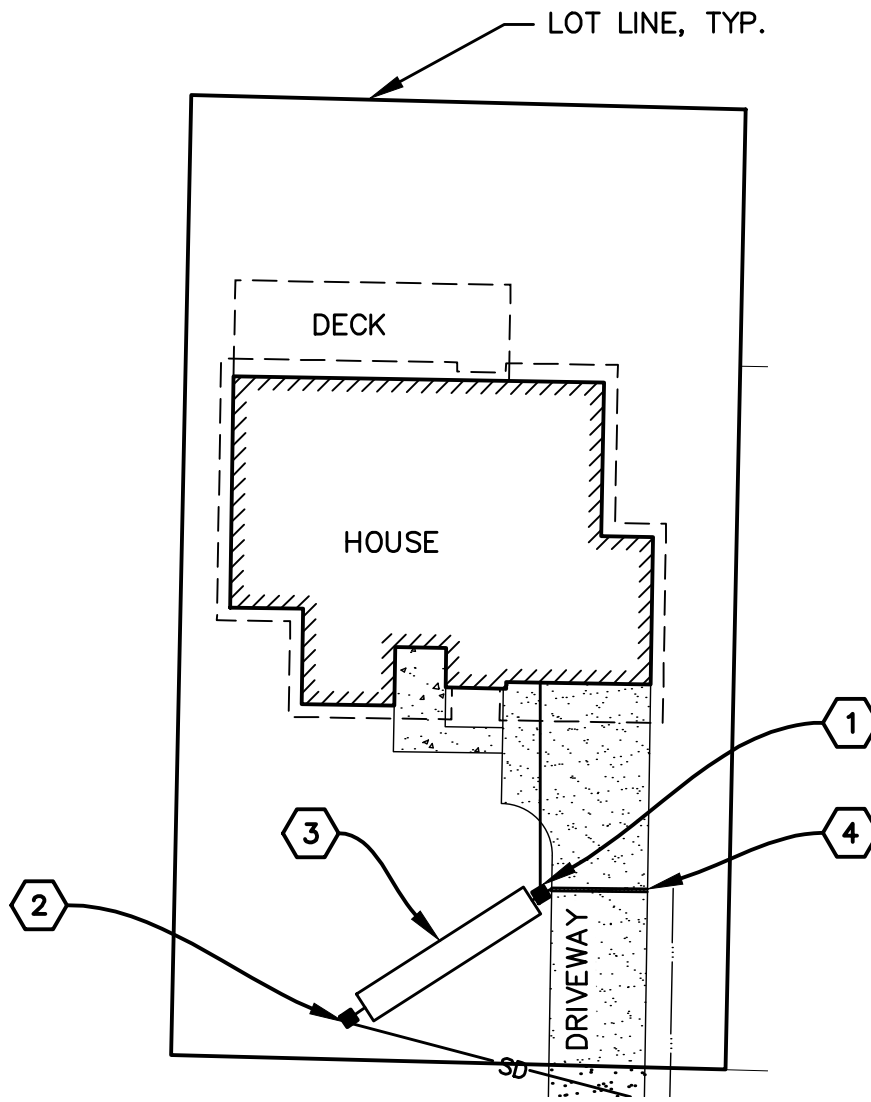
THIS SET OF PLANS IS LICENSED FOR ONE TIME USE

EXHIBIT B



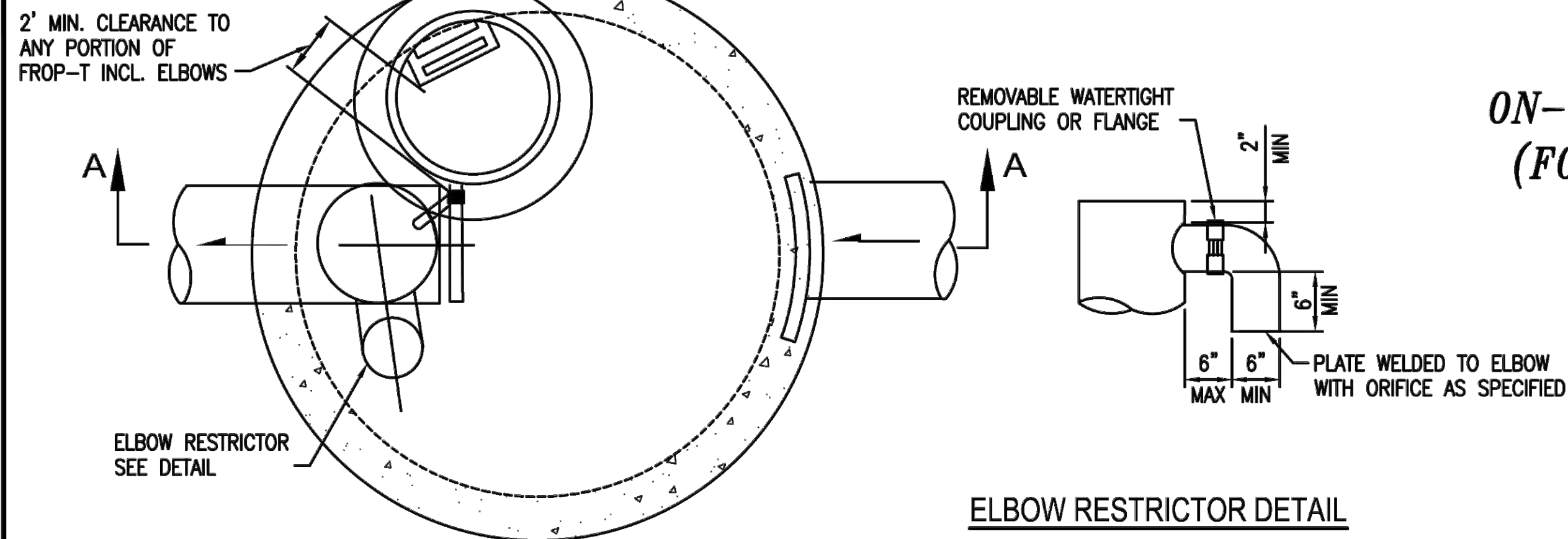
LEGEND:

- ① CATCH BASIN
- ② CONTROL STRUCTURE
- ③ DETENTION PIPE
- ④ TRENCH DRAIN



SE 40TH ST

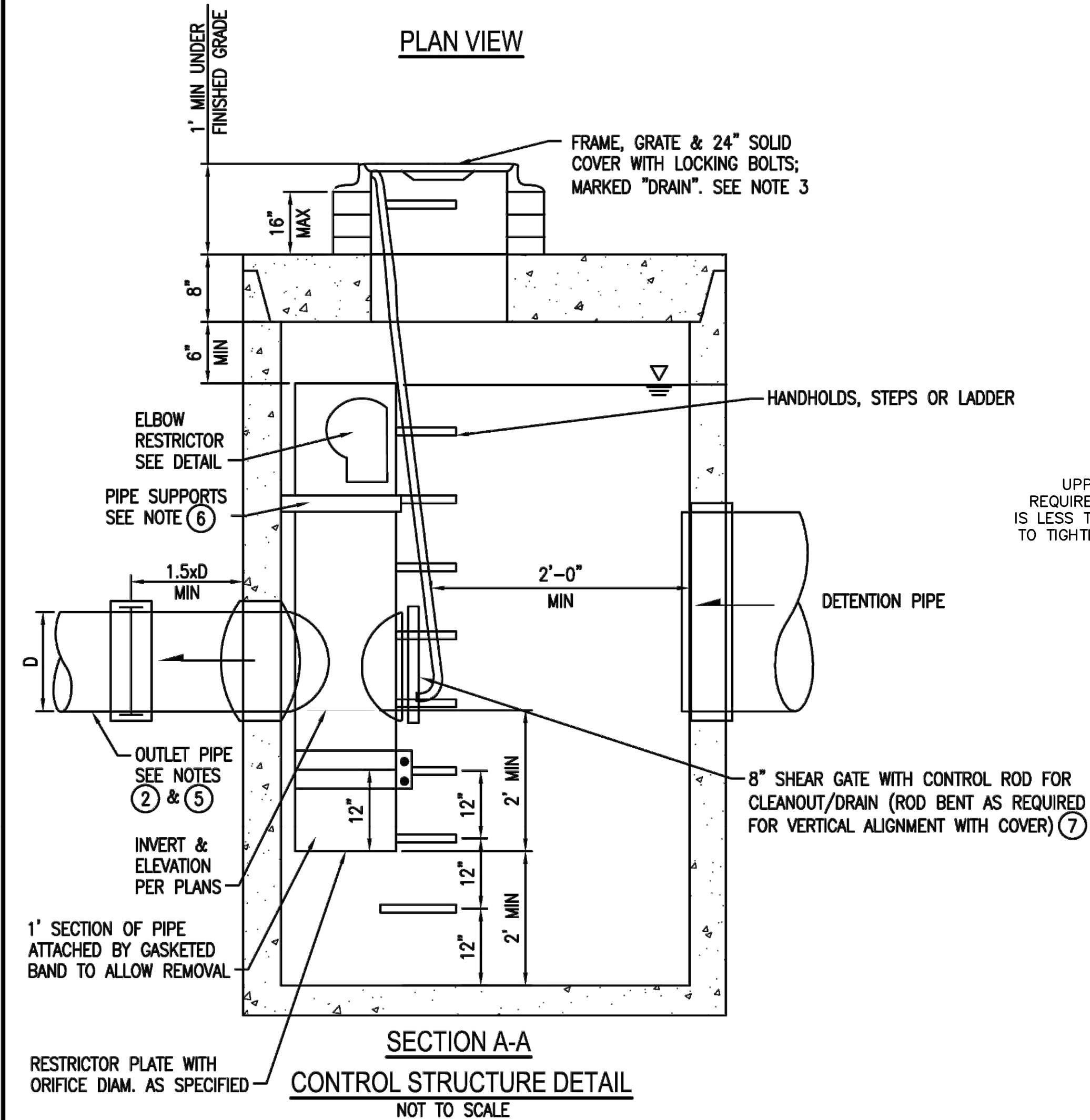
ATTACHMENT 1
CITY OF MERCER ISLAND
ON-SITE DETENTION SYSTEM WORKSHEET
(FOR NEW PLUS REPLACED IMPERVIOUS
AREA OF 9,500 SF OR LESS)



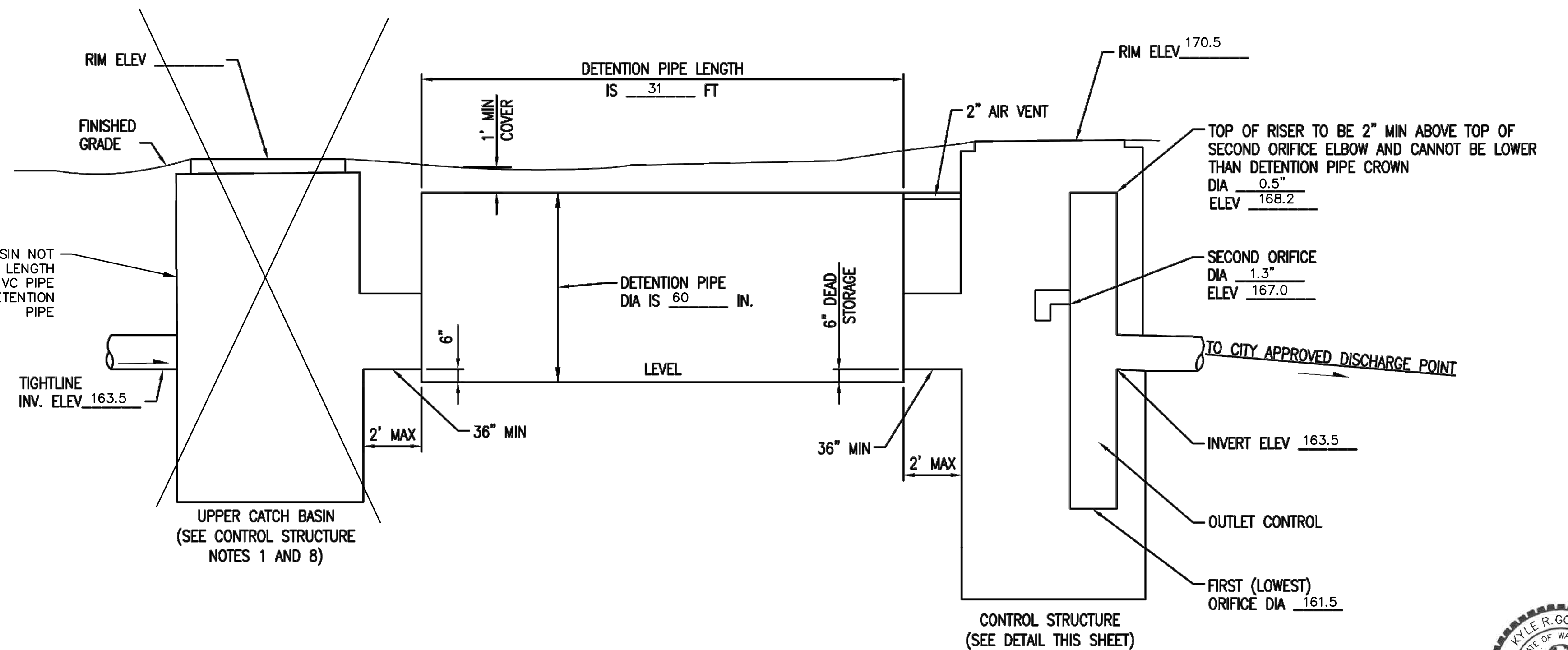
PLAN VIEW

ELBOW RESTRICTOR DETAIL

OWNER: RUSSELL PALANCHUK	ADDRESS: 9734 SE 40TH ST	PREPARED BY: KYLE GOODMAN, P.E.
PERMIT #: 2502-039	MERCER ISLAND, WA 98040	PHONE: 253-579-4839
		DATE: 3/5/24
NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SF): 4,966	DETENTION PIPE DIA (INCH): 60	DETENTION PIPE LENGTH (FT): 31
SOIL TYPE: TYPE C	PIPE MATERIAL: ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE	ORIFICE #1 DIA 0.5 INCH, ELEV 4,966
		ORIFICE #2 DIA 1.3 INCH, ELEV 167.0



SECTION A-A
CONTROL STRUCTURE DETAIL
 NOT TO SCALE



ON-SITE DETENTION SYSTEM
 NOT TO SCALE (ENGINEER TO FILL IN BLANKS)



3/5/25

CONTROL STRUCTURE NOTES:

- ① USE A MINIMUM OF A 54 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
- ② OUTLET PIPE: MIN. 6 INCH.
- ③ METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
- ④ FRAME AND LADDER OR STEPS OFFSET SO:
 - A. CLEANOUT GATE IS VISIBLE FROM TOP;
 - B. CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
 - C. FRAME IS CLEAR OF CURB.
- ⑤ IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.

- ⑥ PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0" VERTICAL SPACING).
- ⑦ THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 26M AND ASTM B 275, DESIGNATION ZG32A; OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LIFT HANDLE SHALL BE MADE OF A SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION), IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
- ⑧ THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FT.

ON-SITE DETENTION SYSTEM NOTES:

1. CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
2. RESPONSIBILITY FOR OPERATION AND MAINTANANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
3. PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING, LINED CORRUGATED POLYETHYLENE PIPE (LCPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
4. FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.